



AGENDA
City of Milton
Plan Commission
Tuesday, July 5, 2016
5:00 pm
MILTON CITY HALL
Council Chambers, 710 S. Janesville Street

1. Call to Order

2. Approval of Agenda

3. Approval of Plan Commission Minutes – June 7, 2016.

Documents: [06-07-2016 Plan Commission Minutes.pdf](#)

4. Discussion and Possible Action on a Site Plan for Expanded Parking at Schilberg Park.

Documents: [Memo - Schilberg Parking Lot Expansion.pdf](#), [Schilberg Parking Lot Improvements 2016-06-27 DRAFT.pdf](#), [Schilberg Park.pdf](#), [Schilberg Park_with Sealcoat.pdf](#), [Schilberg Park Lighting Plan.pdf](#)

5. Discussion and Possible Action on a Site Plan Review for a Change in Signage for Junction Station Located at 602 W. Madison Avenue.

Documents: [Junction Station Signage Picture.pdf](#), [Memo - Junction Station Signage.pdf](#)

6. Discussion and Possible Action on a Site Plan Review for Sunset Apartments Expansion.

Documents: [Memo - Sunset Drive Apartments Site Plan.pdf](#), [Sunset Apartment A1.pdf](#), [Sunset Apartment A2.pdf](#), [Sunset Apartment A3.pdf](#), [Sunset Apartment A4.pdf](#), [Sunset Apartment A5.pdf](#), [Sunset Apartment A5.1.pdf](#), [Sunset Apartment A6.pdf](#), [Sunset Apartment A7.pdf](#), [Sunset Apartment A8.pdf](#), [Sunset Apartment S2.pdf](#), [Sunset Apartment 6.pdf](#), [Sunset Apartment Cover Sheet.pdf](#), [Sunset Apartment Landscaping Plan.pdf](#), [Sunset Apartment Plat Map.pdf](#), [Sunset Apartment Wall Pack Specs Pg 1.pdf](#), [Sunset Apartment Wall Pack Specs Pg 2.pdf](#), [Sunset Drive Apartments Site Plan Letter.pdf](#)

7. Next Meeting Date – August 2, 2016 at 5:00 p.m.

8. General Items

9. Motion to Adjourn

**Please note that upon reasonable notice, at least 48 hours in advance, efforts will be made to accommodate the needs to disabled individuals through appropriate aids and services. For additional information to request this service, please contact the City Clerk's office at 868-6900, 710 S. Janesville Street, Milton, WI 53563.

**Notice is hereby given that a majority of the Common Council may be present at this meeting at

the above mentioned date and time to gather information about a subject over which they have decision-making responsibility. This constitutes a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis. 2d 553, 494 N.W. 2d 408 (1993) and must be noticed as such, although the City Council will not take any formal action at this meeting.

City of Milton
Plan Commission Minutes

6/7/2016 - Minutes

1. Call to Order

Mayor Welch called the June 7, 2016 meeting of the Plan Commission to order at 5:01 PM. Clerk Hilby confirmed the appropriate meeting notices were posted.

Present: Mayor Anissa Welch, Director of Public Works Howard Robinson, Ald. Jeremy Zajac, Comm. Ethel Himmel, Comm. Frank Green, Comm. David Ostrowski, and Comm. Bob Seales.

Excused: Ald. Jeremy Zajac.

Also Present: City Administrator Al Hulick and City Clerk/Deputy Treasurer Elena Hilby.

2. Approval of Agenda

Comm. Ostrowski moved to approve the agenda. DPW Director Robinson seconded, and the motion carried.

3. Approval of Plan Commission Minutes – May 17, 2016.

Comm. Himmel moved to approve the minutes. DPW Director Robinson seconded, and the motion carried with Comm. Ostrowski abstaining.

4. Discussion and Possible Action Regarding a Site Plan for Outdoor Seating at Fredricks Supper Club located at 118 Merchant Row.

DPW Director Robinson reviewed the site plan being presented.

Comm. Himmel moved to approve the site plan for outdoor seating at Fredricks supper Club located at 118 Merchant Row. Comm. Ostrowski seconded, and the motion carried.

5. Discussion and Possible Action Regarding a Site Plan Review for a Sign at Rockie's Hometown Pizza and Subs Located at 301 Parkview Drive.

DPW Director Robinson reviewed the site plan being presented.

Comm. Ostrowski moved to approve the site plan as presented for the proposed sign for Rockie's Hometown Pizza and Subs. Comm. Himmel seconded, and the motion carried.

6. Discussion and Possible Action Regarding a Site Plan for Mini-Storage Warehouses at Pastorius Rentals, LLC, 1135 S. Janesville Street.

DPW Director Robinson reviewed the site plan being presented.

Comm. Himmel moved to approve the site plan for mini-storage warehouses located at 1135 S. Janesville Street and record the storm water maintenance plan with Rock County. DPW Director Robinson seconded, and the motion carried.

7. Discussion and Possible Action Regarding a Site Plan Review for a Shed at the West Sunset Apartments Located at 787 W. Sunset Drive.

DPW Director Robinson reviewed the site plan being presented.

Comm. Ostrowski moved to approve the site plan request for the construction of a shed behind the apartments. Comm. Himmel seconded, and the motion carried.

8. Discussion and Possible Action on the Placement of the Splash Pad Signage.

DPW Director Robinson reviewed the options with the Commission.

Comm. Ostrowski moved to approve alternate location #2. The signs could be separated with the Sponsorship Sign being placed on the east wall of the new concession stand and the Splash Pad entrance sign being relocated to the south side of the new concession stand. The Splash Pad entrance sign would also be landscaped as well. DPW Director Robinson seconded, and the motion carried.

Alternate Location #2: The signs could be separated with the Sponsorship Sign being placed on the east wall of the new concession stand and the Splash Pad entrance sign being relocated to the south side of the new concession stand. The Splash Pad entrance sign would also be landscaped as well.

9. Discussion and Possible Action on a Plat of Survey, Declaration of Surplus Land, and Authorization of Sale of Land Located at the Intersection of Sunnyside Drive and Gateway Drive.

Administrator Hulick reviewed the specifics with the Commission.

Comm. Himmel moved to approve the Plat of Survey and declare the subject site as surplus property. DPW Director Robinson seconded, and the motion carried.

Comm. Ostrowski moved to recommend to the Common Council to offer this property for sale to the public through the bid process. Comm. Seales seconded, and the motion carried with DPW Director in opposition.

10. Next Meeting Date – June 21, 2016 at 5:00 p.m.

11. Motion to Adjourn

Comm. Himmel moved to adjourn the meeting at 5:32 p.m. DPW Director Robinson seconded, and the motion carried.

Respectfully submitted,
Elena Hilby
City Clerk



Department of Public Works

To: Milton Plan Commission
From: Howard Robinson, Director of Public Works
Date: July 5, 2016
Subject: Discussion and Possible Action on a Site Plan for Expanded Parking at Schilberg Park

Summary

The School District of Milton is planning to reconfigure and expand the existing parking lot located within Schilberg Park adjacent to West High Street. The attached site plan was designed by Strand Engineering in conjunction with the Milton School District.

Analysis

The reconfiguration of the existing parking lot and addition of a new lot will provide for one way traffic circulation within the newly designed lot. This will also designate a specific “in” and “out” access to the lot along West High Street. As designed, the reconfigured lot and new parking lot meet the City Ordinance requirements.

The site plan exceeds the landscaping requirements. Additionally, the lighting plan for the parking lot meets foot candle requirements as outlined in the City Ordinances. Alliant Energy will be installing lights similar to those currently present in other parks. Stormwater retention facilities have been provided on the site plan.

Additionally, the site plan call for additional blacktopping and sidewalks to increase the efficiency of pedestrian traffic in the area around the lot as well.

Recommendation

The City Administration recommends the Plan Commission approve the site plan for the parking lot reconfiguration and expansion within Schilberg Park with contingency that a stormwater maintenance plan be recorded for the project.

SCHILBERG PARK PARKING LOT IMPROVEMENTS

FOR THE

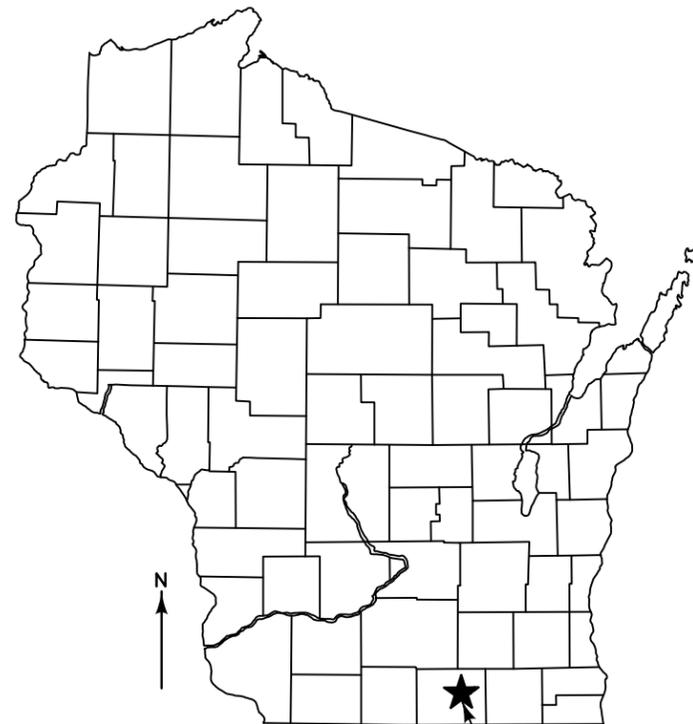
SCHOOL DISTRICT OF MILTON

MILTON, WISCONSIN

JUNE, 2016

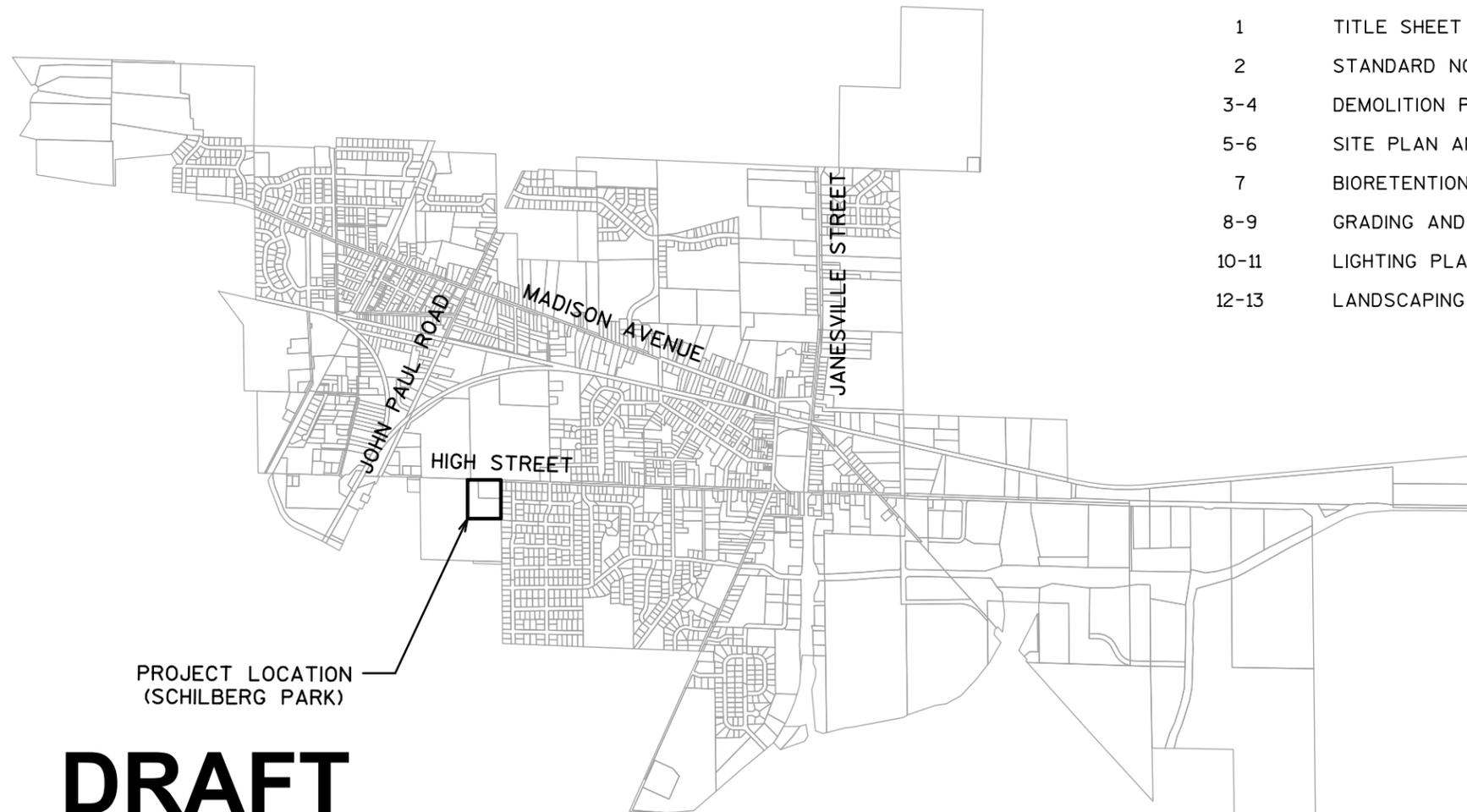
LIST OF DRAWINGS

SHEET NO.	DRAWING TITLE
1	TITLE SHEET
2	STANDARD NOTES AND DETAILS
3-4	DEMOLITION PLAN
5-6	SITE PLAN AND DIMENSIONS
7	BIORETENTION BASIN
8-9	GRADING AND EROSION CONTROL PLAN
10-11	LIGHTING PLAN
12-13	LANDSCAPING PLAN



CITY OF MILTON

PROJECT LOCATION
NO SCALE



PROJECT LOCATION
(SCHILBERG PARK)

DRAFT

Date: 2016-06-07

910 West Wingra Drive
Madison, WI 53715
608-251-4843
608-251-8655 fax
www.strand.com

CONTRACT NO. 2-2016

AREA MAP
NO SCALE



SHEET
1
JOB NO. 1495.002

STANDARD SYMBOLS

---	TEMPORARY EASEMENT		PAVED ROAD
---	PROPERTY LINE AND/OR RIGHT OF WAY		EXISTING CULVERT
	SOIL BORING		UNDERGROUND CONFLICT
	BENCH MARK		FORCE MAIN
	PROPERTY STAKE		WATER MAIN
	IRON PIPE		STORM SEWER
	INLET		SANITARY SEWER
	CURB WATER BOX		EXISTING SANITARY SEWER AND MANHOLE
	ROAD SIGN		TELEPHONE OR TV CABLE
	PRIVATE WELL		FIBER OPTIC CABLE
	EXISTING UTILITY POLE		GAS MAIN
	BURIED TELEPHONE CABLE PEDESTAL SIGN		UNDERGROUND ELECTRIC CABLE
	LIGHT POLE		ORIGINAL GROUND IN PROFILE
	MAIL BOX		FENCE
	OBJECTS TO BE REMOVED		GUARD RAIL
	EXISTING DECIDUOUS TREE		SILT FENCE
	EXISTING CONIFEROUS TREE		CONTROL POINT
	WETLAND AREA		GUY WIRE & ANCHOR
	INLET PROTECTION		LIGHT POLE
	PULL BOX		PULL BOX

LP-X, CKTX, X
 FIXTURE TYPE
 CIRCUIT NUMBER
 LIGHT POLE NUMBER

GENERAL NOTES

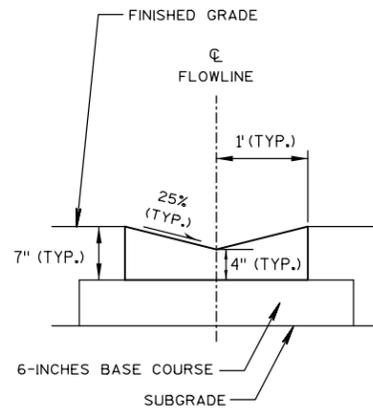
- EASEMENT, EXISTING UTILITIES, PROPERTY LINES, AND R.O.W. LINES SHOWN ARE APPROXIMATE. NOT ALL UTILITY MAINS AND SERVICES ARE SHOWN ON THE DRAWINGS. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE FOR UTILITY LOCATES AND SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS OF THE UTILITY MAINS AND SERVICES DURING CONSTRUCTION.
- ALL NEW AND EXISTING INLETS SHALL HAVE TYPE-D INLET PROTECTION. AT NO TIME SHALL ANY INLET, AS PART OF CONSTRUCTION OR ADJACENT TO CONSTRUCTION BE WITHOUT EROSION FILTER BLANKETS.
- ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY AND AFTER A RAINFALL OF 1/2-INCH OR MORE WITHIN 24 HOURS. NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.
- ANY SEDIMENT TRACKED ONTO ADJACENT ROADS SHALL BE CLEANED BY STREET SWEEPING (NOT FLUSHED) AT THE END OF EACH WORK DAY.

UTILITY OWNERS

<p>ELECTRIC, GAS</p> <p>ALLIANT ENERGY 3730 KENNEDY ROAD JANESVILLE, WI 53545 CONTACT: TODD WOLFE OFFICE: 608-757-7518 CELL: 608-295-0544 toddwolfe@alliantenergy.com</p>	<p>TELEPHONE</p> <p>CENTURYLINK 224 INDUSTRIAL DRIVE NORTH PRAIRIE, WI 53153 CONTACT: BRADLEY PATRICK OFFICE: 262-392-5247 CELL: 414-573-7733 bradley.patrick@centurylink.com</p>	<p>FIBER OPTIC</p> <p>THE SCHOOL DISTRICT OF MILTON 114 W HIGH STREET MILTON, WI 53563 CONTACT: ED SNOW PHONE: 608-868-9570 snowe@milton.k12.wi.us</p>
<p>WATER, SANITARY, AND STORM</p> <p>CITY OF MILTON 150 NORTHSIDE DRIVE MILTON, WI 53563 CONTACT: HOWARD ROBINSON PHONE: 608-868-6914 hrobinson@ci.milton.wi.us</p>	<p>TELEVISION</p> <p>CHARTER COMMUNICATIONS E10704 STH 33 BARABOO, WI 53913 CONTACT: DAVID MOLDENHAUER OFFICE: 608-373-7538 CELL: 608-206-0494 david.moldenhauer@charter.com</p>	

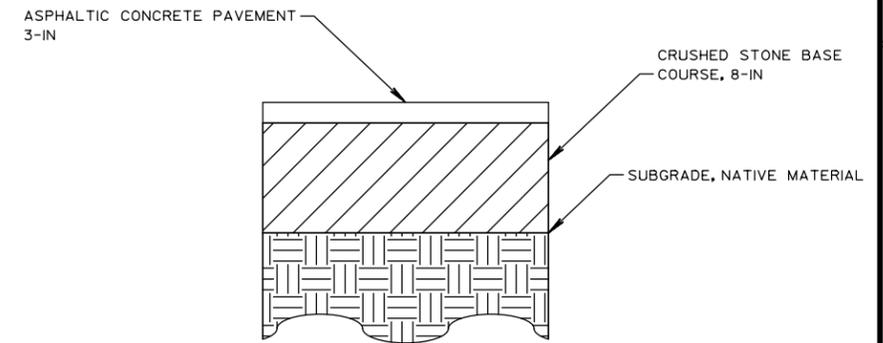


Call 811 3 Work Days Before You Dig
 or Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

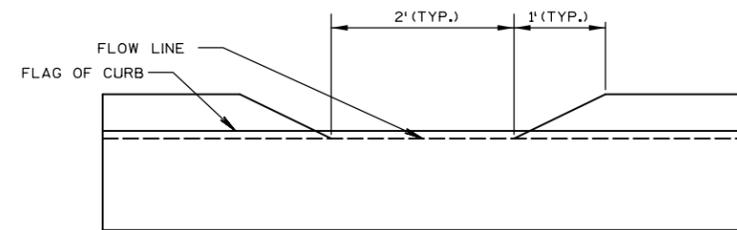


CONCRETE FLUME SECTION C-C
 NO SCALE

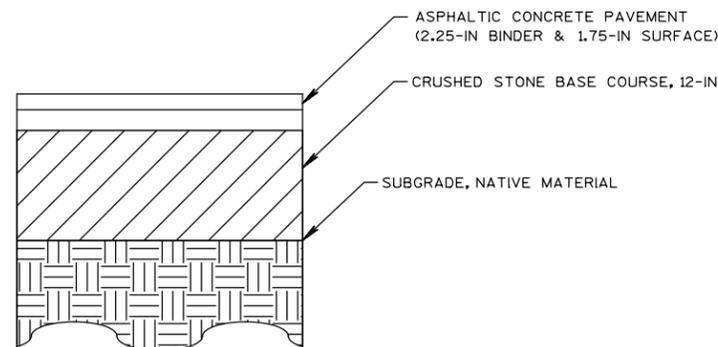
**Preliminary
 2016-06-27**



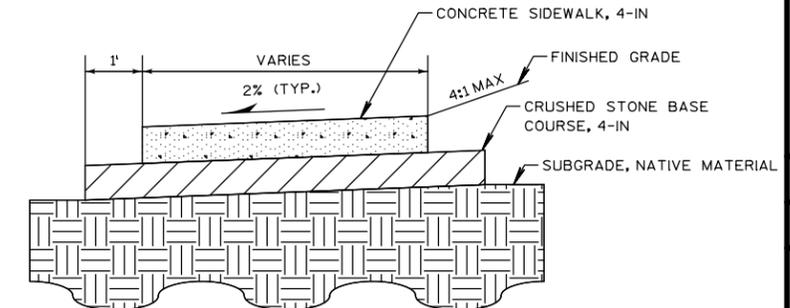
ASPHALTIC PATH TYPICAL SECTION
 NOT TO SCALE



CONCRETE FLUME CURB CUT
 NO SCALE



ASPHALTIC PAVEMENT TYPICAL SECTION
 NOT TO SCALE



CONCRETE SIDEWALK TYPICAL SECTION
 NOT TO SCALE

DATE:	
REVISIONS	
NO.	

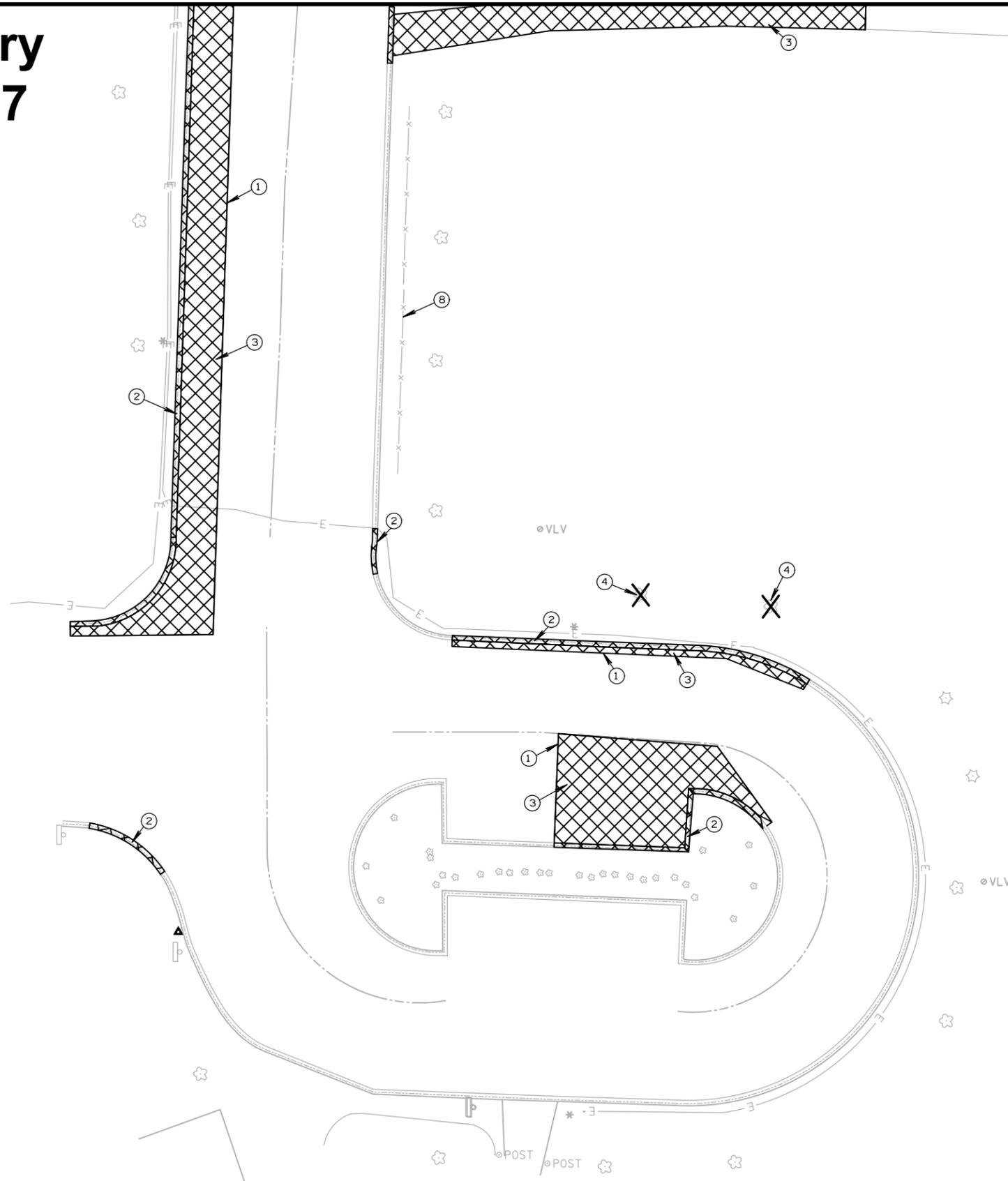
STANDARD NOTES AND DETAILS
 SCHILBERG PARK PARKING LOT IMPROVEMENTS
 SCHOOL DISTRICT OF MILTON
 MILTON, WISCONSIN

JOB NO.
 1495.002
 PROJECT MGR.
 KRH



SHEET
 2

Preliminary
2016-06-27



KEY NOTES:

- ① SAWCUT EXISTING ASPHALT PAVEMENT AS REQUIRED FOR INSTALLATION OF NEW CURB AND GUTTER, ROADWAY, PARKING LOT, AND SIDEWALK.
- ② REMOVE EXISTING CONCRETE 18-IN CURB AND GUTTER, SIDEWALK, OR DRIVEWAY APRON.
- ③ REMOVE EXISTING ASPHALTIC DRIVEWAY APRON, ROADWAY, PATH, OR PARKING LOT.
- ④ REMOVE EXISTING TREES, STUMPS, SHRUBS, OR CLEAR AND GRUB AS NECESSARY FOR CONSTRUCTION.
- ⑤ REMOVE AND RESET MISCELLANEOUS SIGN IF NECESSARY. RETURN SIGN TO OWNER IF IT CANNOT BE RESET. INCIDENTAL TO OTHER ITEMS.
- ⑥ PROVIDE STONE TRACKING PAD AT SITE ENTRANCE.
- ⑦ REMOVE EXISTING GRAVEL DRIVEWAY.
- ⑧ REMOVE EXISTING FENCE.
- ⑨ REMOVE EXISTING RIPRAP.
- ⑩ REMOVE EXISTING STOP BAR.

GENERAL NOTES:

- 1. CONTRACTOR SHALL PROTECT ADJACENT STRUCTURES AND PROPERTY FROM DAMAGE CAUSED BY THE DEMOLITION AND GRADING OPERATIONS.
- 2. APPROPRIATE TRAFFIC CONTROL DEVICES SHALL BE USED DURING DEMOLITION AND CONSTRUCTION OF PARKING LOT. SIDEWALK CLOSED SIGNS SHALL BE PLACED ON EACH SIDE OF THE WORK AREA FOR THE DURATION OF THE SIDEWALK CLOSURE.
- 3. SAWCUT THE SIDEWALK, CURB AND GUTTER, AND ASPHALT PAVEMENT FULL DEPTH AT THE LIMITS OF REMOVAL. THE REMOVAL LIMITS SHOWN ON THE PLAN ARE APPROXIMATE. IF DAMAGE OCCURS OUTSIDE THE LIMITS SHOWN, THE DAMAGED AREA SHALL BE SAW CUT (TO THE NEAREST JOINT FOR SIDEWALK), REMOVED AND REPLACED IN KIND.

NO.	REVISIONS	DATE:

DEMOLITION PLAN
SCHILBERG PARK PARKING LOT IMPROVEMENTS
SCHOOL DISTRICT OF MILTON
MILTON, WISCONSIN

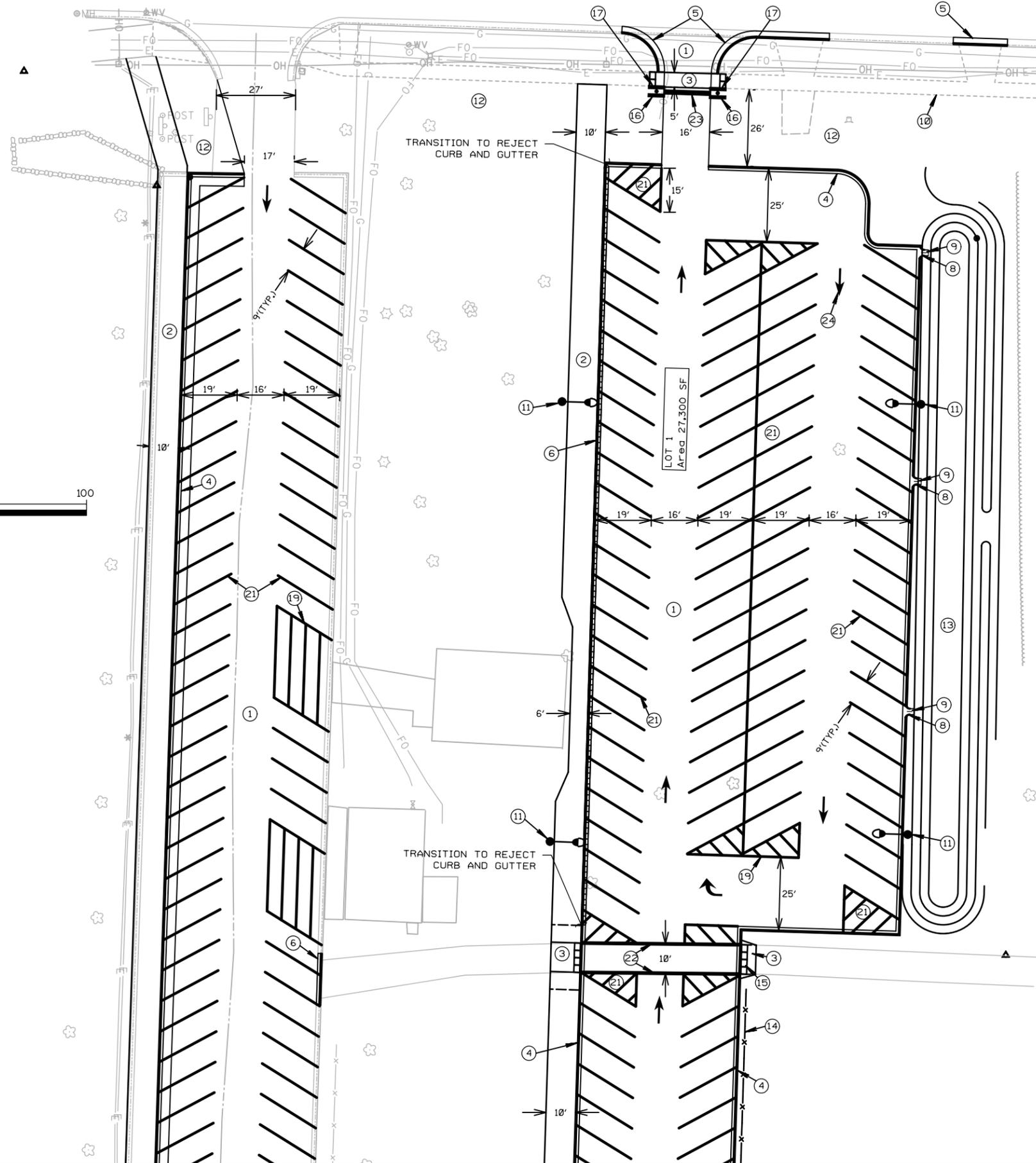
JOB NO.
1495.002
PROJECT MGR.
KRH



SHEET
4

Preliminary
2016-06-27

HIGH STREET



#KEY NOTES:

- ① 4-IN ASPHALT PAVEMENT, REFER TO STANDARD NOTES AND DETAILS SHEET.
 - ② 3-IN ASPHALT SIDEWALK, REFER TO STANDARD NOTES AND DETAILS SHEET.
 - ③ 4-IN CONCRETE SIDEWALK, REFER TO DETAIL DRAWINGS FOR CURB RAMP SPECIFICATIONS.
 - ④ 18-IN CONCRETE CURB AND GUTTER, REFER TO DETAIL DRAWINGS. USE TIE BARS FOR CONNECTION TO EXISTING CURB AND GUTTER.
 - ⑤ 30-IN CONCRETE CURB AND GUTTER, REFER TO DETAIL DRAWINGS. USE TIE BARS FOR CONSTRUCTION TO EXISTING CURB AND GUTTER.
 - ⑥ REJECT 18-IN CONCRETE CURB AND GUTTER, REFER TO DETAIL DRAWINGS.
 - ⑦ DRIVEWAY SECTION 18-IN CONCRETE CURB AND GUTTER, REFER TO DETAIL DRAWINGS.
 - ⑧ CONCRETE CURB CUT, REFER TO STANDARD NOTES AND DETAILS SHEET.
 - ⑨ CONCRETE FLUME, REFER TO STANDARD NOTES AND DETAILS SHEET.
 - ⑩ APPROXIMATE EXISTING RIGHT-OF-WAY.
 - ⑪ LIGHT POLE BASE, LIGHT POLE, AND LIGHT FIXTURE, REFER TO LIGHTING AND LANDSCAPE PLAN. (TYP.)
 - ⑫ LANDSCAPE AREA, REFER TO LIGHTING AND LANDSCAPE PLAN.
 - ⑬ BIOFILTRATION BASIN. DO NOT INSTALL BIOFILTER ENGINEERED SOIL OR UNDERDRAIN UNTIL SITE GRADING IS COMPLETED AND STABILIZED.
 - ⑭ 8' CHAIN LINK FENCE.
 - ⑮ 2-FT X 2.5-FT TRUNCATED DOME DETECTABLE WARNING PANELS. (TYP.)
- SIGNING**
- ⑯ STOP SIGN, REFER TO SIGNING KEY FOR DETAILS.
 - ⑰ DO NOT ENTER SIGN, REFER TO SIGNING KEY FOR DETAILS.
 - ⑱ YIELD SIGN, REFER TO SIGNING KEY FOR DETAILS.
- PAVEMENT MARKING**
- ⑲ 4-IN WHITE PAVEMENT MARKING LINES. (TYP.)
 - ⑳ 4-IN WHITE DIAGONAL PAVEMENT MARKING LINES, 45°. (TYP.)
 - ㉑ 4-IN WHITE 60° ANGLE PARKING PAVEMENT MARKING LINES. (TYP.)
 - ㉒ 6-IN WHITE CROSSWALK SPACED 10-FT APART.
 - ㉓ 18-IN WHITE STOP BAR.
 - ㉔ WHITE ARROW PAVEMENT MARKING. (TYP.)

NO.	REVISIONS	DATE

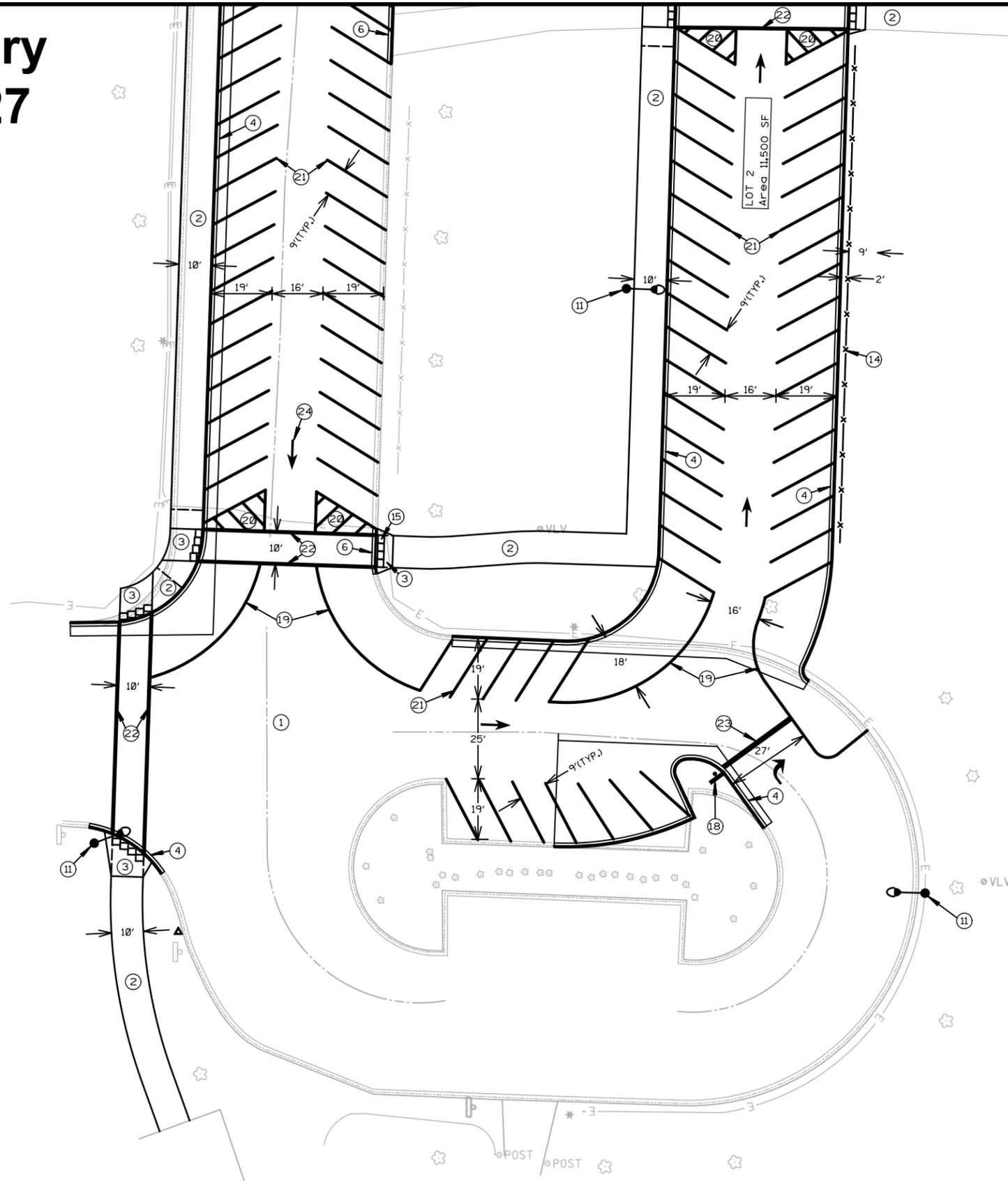
SITE PLAN AND DIMENSIONS
SCHILBERG PARK PARKING LOT IMPROVEMENTS
SCHOOL DISTRICT OF MILTON
MILTON, WISCONSIN

JOB NO.
1495.002
PROJECT MGR.
KRH



SHEET
5

Preliminary
2016-06-27



KEY NOTES:

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- ⑧ CONCRETE CURB CUT, REFER TO STANDARD NOTES AND DETAILS SHEET.
- ⑨ CONCRETE FLUME, REFER TO STANDARD NOTES AND DETAILS SHEET.
- ⑩ APPROXIMATE EXISTING RIGHT-OF-WAY.
- ⑪ LIGHT POLE BASE, LIGHT POLE, AND LIGHT FIXTURE. REFER TO LIGHTING AND LANDSCAPE PLAN. (TYP.)
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- ⑮ 2-FT X 2.5-FT TRUNCATED DOME DETECTABLE WARNING PANELS. (TYP.) SIGNING
- ⑯ STOP SIGN, REFER TO SIGNING KEY FOR DETAILS.
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- ㉔ WHITE ARROW PAVEMENT MARKING. (TYP.)

NO.	REVISIONS	DATE:

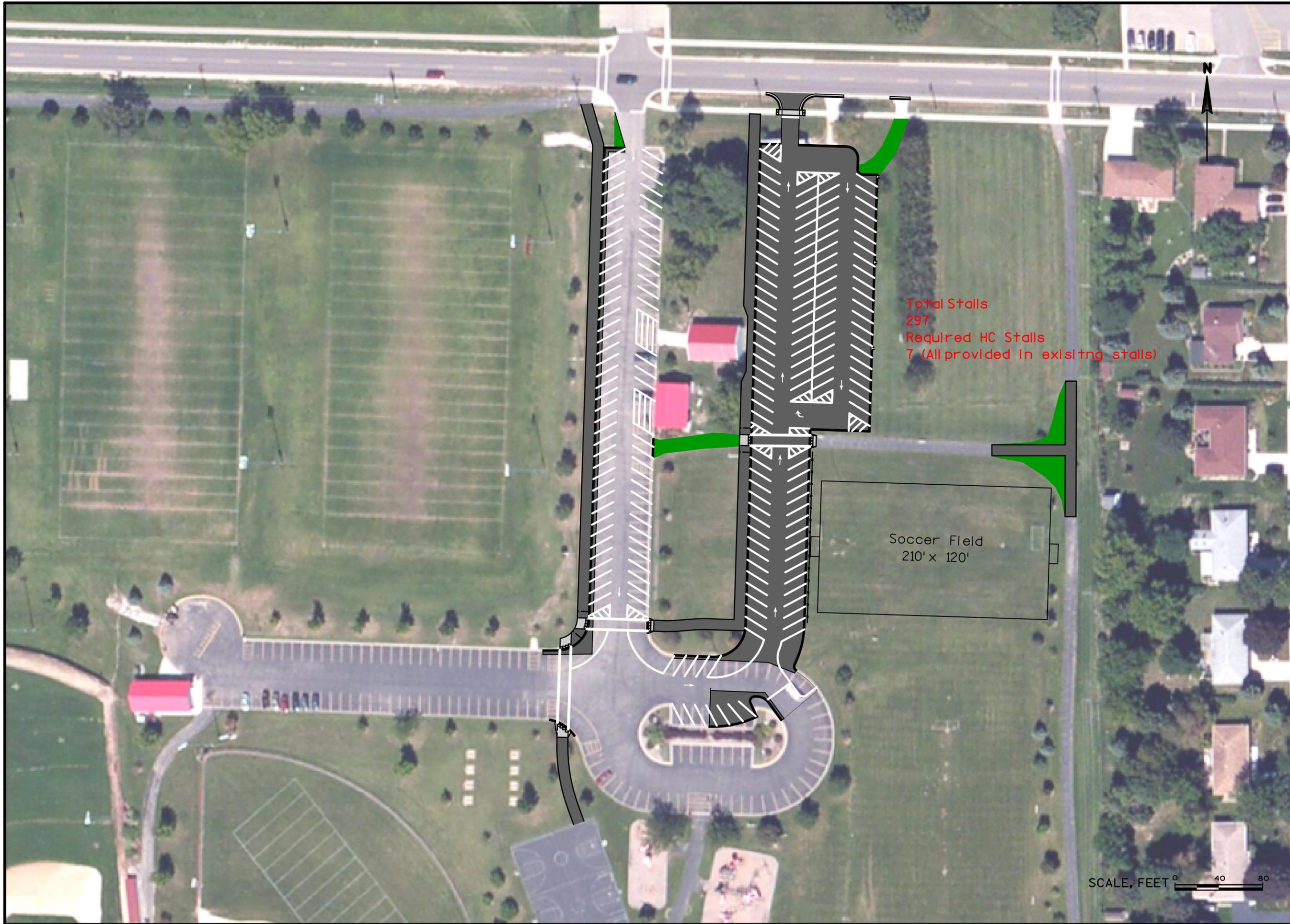
SITE PLAN AND DIMENSIONS

SCHILBERG PARK PARKING LOT IMPROVEMENTS
SCHOOL DISTRICT OF MILTON
MILTON, WISCONSIN

JOB NO.
1495.002
PROJECT MGR.
KRH



SHEET
6



**SCHILBERG PARK
PARKING LOT MODIFICATION ALTERNATIVE 2**

SCHOOL DISTRICT OF MILTON
MILTON, WI



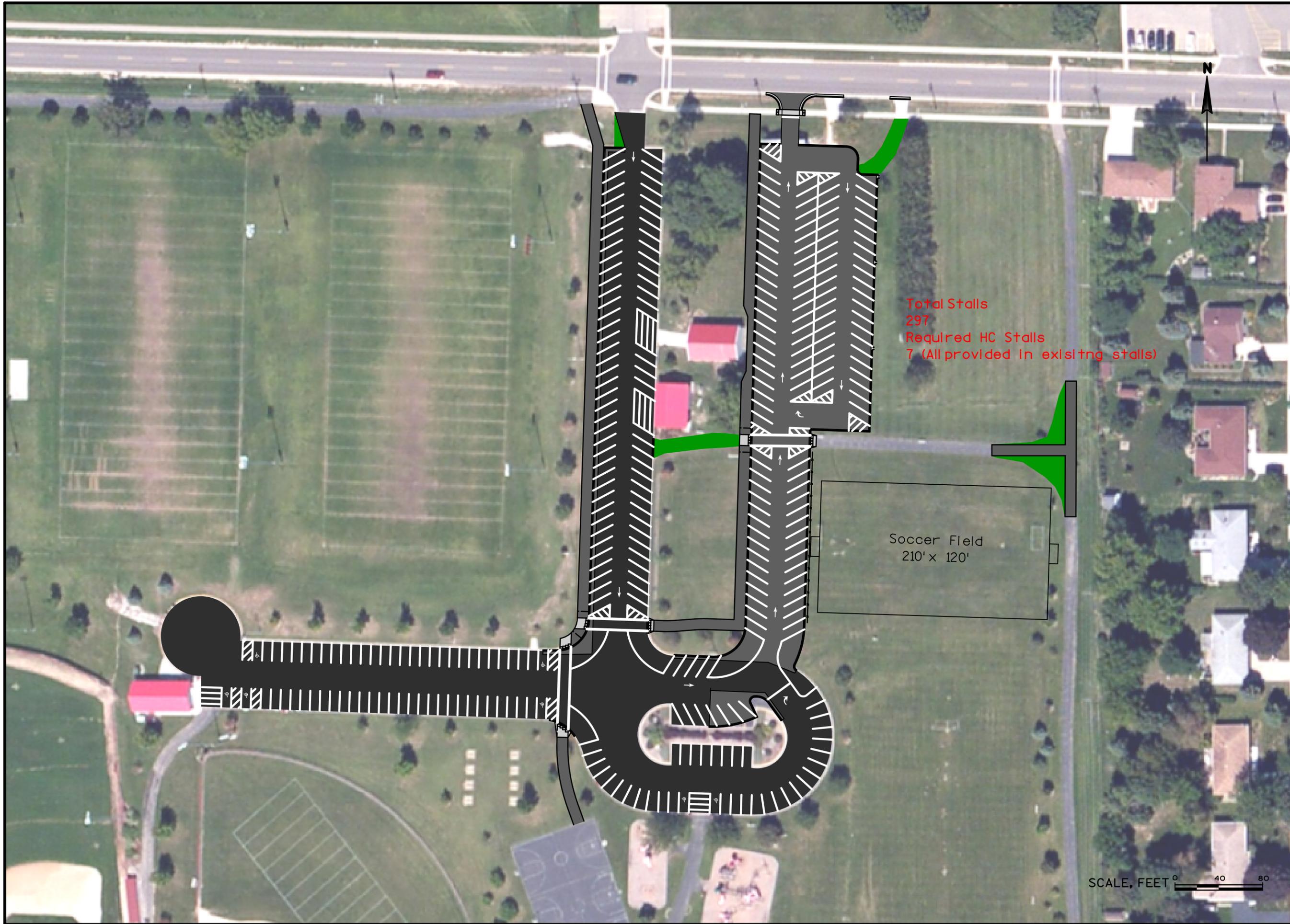
**FIGURE
JOB NO.**

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\$USER\$

\$DATE\$

\$TIME\$



**SCHILBERG PARK
PARKING LOT MODIFICATION ALTERNATIVE 2 WITH SEALCOAT**

**SCHOOL DISTRICT OF MILTON
MILTON, WI**



**FIGURE
JOB NO.**

\$FILES\$

\$USER\$

\$DATE\$

\$TIME\$

Henderson, Kyle R.

From: Wolfe, Todd <ToddWolfe@alliantenergy.com>
Sent: Wednesday, June 15, 2016 11:19 AM
To: Henderson, Kyle R.
Subject: Shilberg Park-Milton lights
Attachments: 250w HPS.pdf

Kyle

All the roadway lights in the parking area are 250w type 2/3 semi-cutoff lights mounted on 35ft direct bury concrete poles. The mounting height will be at about 30ft and all existing poles are spaced 175ft apart. I have attached some light info for you to look at. Thanks

Please call or e-mail me with any questions. Thanks

Todd M. Wolfe

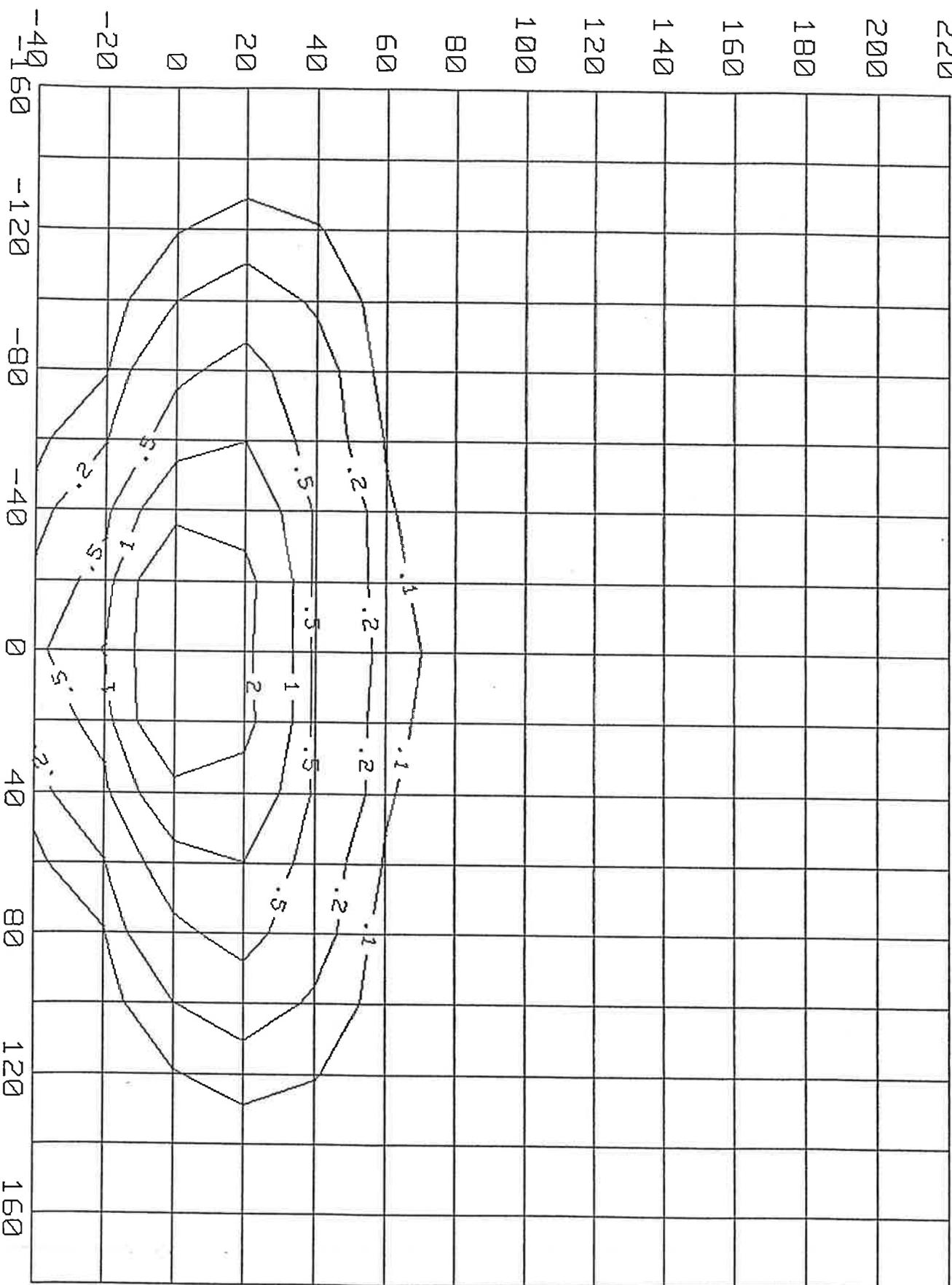
Todd M. Wolfe
Engineering Technician
Alliant Energy
608-757-7518
toddwolfe@alliantenergy.com

GE LIGHTING SYSTEMS - ISO-ILLUMINATION DIAGRAM

M-250A2
 Lamp: HPS 200-250
 Mounting Height: 30.0
 Scale: 1 Inch = 40.0
 Pole is Luminaired/Location: 1
 Photometric Axis is Aimed Out 0.0 from the Pole Base.

QTY: 1
 Lumens: 7263
 MF: 0.90
 M-S-I]

250 Watt
 HPS COBRA
 TYPE II
 Medium Cut-Off



Illumination Array for Template Generation using ISO Program

Y Coord	-160	-140	-120	-100	-80.0	-60.0	-40.0	-20.0	0.0	20.0	40.0	60.0	80.0	100	1	
220	.001	.002	.001	.001	.001	.001	.001	.001	.001	.001	.001	.001	.001	.001	.001	.0
200	.002	.002	.002	.002	.002	.002	.002	.002	.002	.002	.002	.002	.002	.002	.002	.0
180	.002	.003	.003	.003	.003	.003	.003	.003	.003	.003	.003	.003	.003	.003	.003	.0
160	.003	.003	.004	.004	.004	.004	.004	.004	.004	.004	.004	.004	.004	.004	.004	.0
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120	.004	.005	.007	.009	.010	.010	.011	.011	.011	.011	.011	.011	.010	.010	.009	.0
100	.007	.008	.010	.014	.016	.017	.019	.022	.023	.022	.019	.017	.016	.014	.0	
80.0	.012	.016	.018	.021	.030	.037	.043	.051	.057	.051	.043	.037	.030	.021	.0	
60.0	.020	.034	.049	.057	.062	.094	.111	.134	.150	.134	.111	.094	.062	.057	.0	
40.0	.027	.055	.106	.181	.266	.289	.435	.409	.421	.409	.435	.289	.266	.181	.1	
20.0	.029	.063	.131	.281	.642	.990	1.59	2.32	2.22	2.32	1.59	.990	.642	.281	.1	
0.0	.024	.047	.096	.199	.411	.726	1.61	3.55	3.28	3.55	1.61	.726	.411	.199	.0	
-20.0	.014	.023	.037	.057	.093	.188	.393	.657	1.03	.657	.393	.188	.093	.057	.0	
-40.0	.008	.012	.017	.024	.036	.078	.129	.240	.375	.240	.129	.078	.036	.024	.0	

Lower Left Corner: X = -160.00 Y = -40.00 Z = 0.00

JUNCTION

STATION





Department of Public Works

To: Milton Plan Commission
From: Howard Robinson, Director of Public Works
Date: July 5, 2016
Subject: Discussion and Possible Action on a Site Plan Review for a Change in Signage for Junction Station Located at 602 W. Madison Avenue

Summary

Junction Station, located at 602 W. Madison Avenue, is requesting a change to the color of their signage on the front of their building. The current black lettering is difficult to see against their brick façade and they are requesting a change to red lettering. The red “color” will match that of the Cennex corporate logo.

Because this property is located in a B-3 Zone District, this change in signage requires a site plan review and approval from the Plan Commission

Recommendation

The City Administration recommends the Plan Commission approve the site plan for the change in signage at Junction Station located at 602 W. Madison Avenue.



Department of Public Works

To: Milton Plan Commission
From: Howard Robinson, Director of Public Works
Date: July 5, 2016
Subject: Discussion and Possible Action on a Site Plan Review for Sunset Apartments Expansion

Summary

Mike Lukas has requested a site plan review for the construction of three (3) new 8-unit apartments on East Sunset Drive (see attached site plan). These new apartment buildings will mirror the six existing 8-unit apartment buildings located along East Sunset Drive.

Analysis

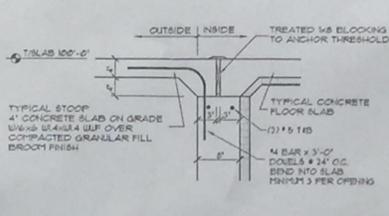
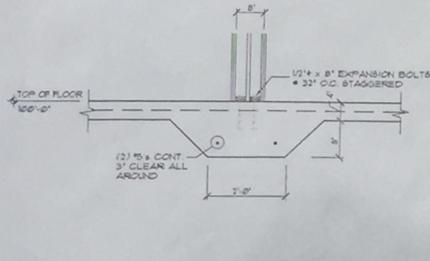
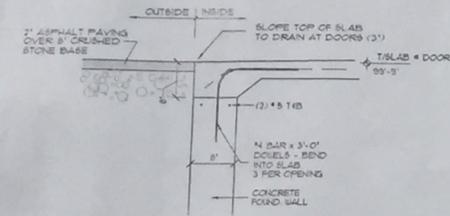
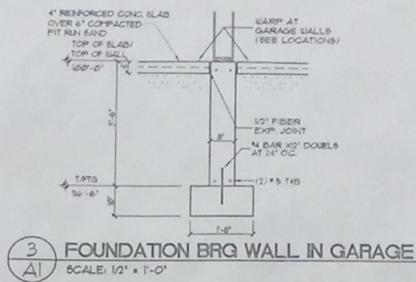
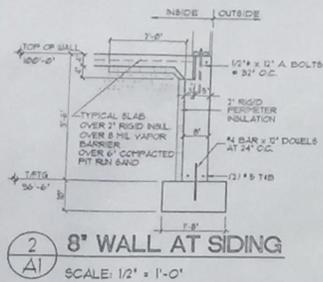
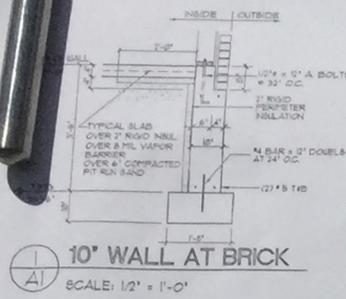
In addition to the site plan submittal, Mr. Lukas has provided a letter that describes the site plan requirements (attached). The site plan meets all requirements for this type of construction in the R-4 Residential Zone District.

When Mr. Lukas originally built the six existing apartment complexes, a Site Plan was reviewed and approved for full build out of the site. This new site plan mirrors that original plan, but must be resubmitted due to the length of time that has elapsed since the original approval.

The Site Plan does meet all ordinance requirements with one exception. The building on #553 needs to be moved 25-feet for a setback during construction. The plan shows 23-feet at this time. There is room to accommodate this change on the site during construction, and the applicant has agreed to make that change.

Recommendation

Based on the site plan meeting all necessary requirements with the one exception that the applicant has agreed to address, the City Administration recommends approval of the site plan for the Sunset Drive Apartments expansion.



1 10' WALL AT BRICK
SCALE: 1/2" = 1'-0"

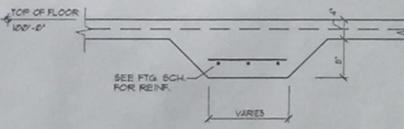
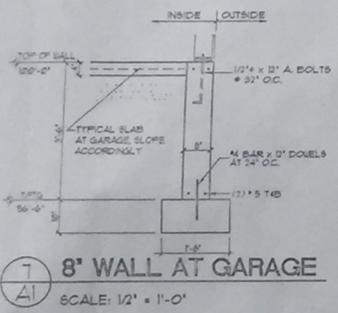
2 8' WALL AT SIDING
SCALE: 1/2" = 1'-0"

3 FOUNDATION BRQ WALL IN GARAGE
SCALE: 1/2" = 1'-0"

4 WALL AT GARAGE DOOR
SCALE: 3/4" = 1'-0"

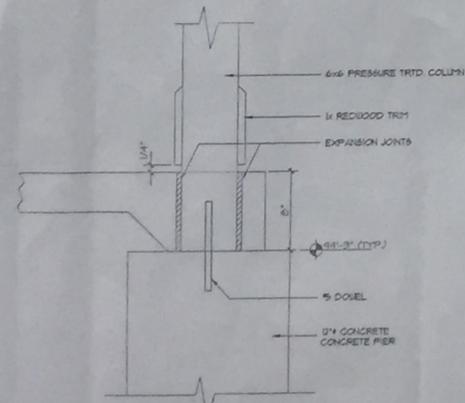
5 THICKENED SLAB
SCALE: 1/2" = 1'-0"

6 STOOP - FROST WALL (ENTRY DOOR)
SCALE: 3/4" = 1'-0"



7 8' WALL AT GARAGE
SCALE: 1/2" = 1'-0"

8 THICKENED SLAB - WOOD COLUMNS
SCALE: 1/2" = 1'-0"



9 COLUMN FOOTING
SCALE: 1/2" = 1'-0"

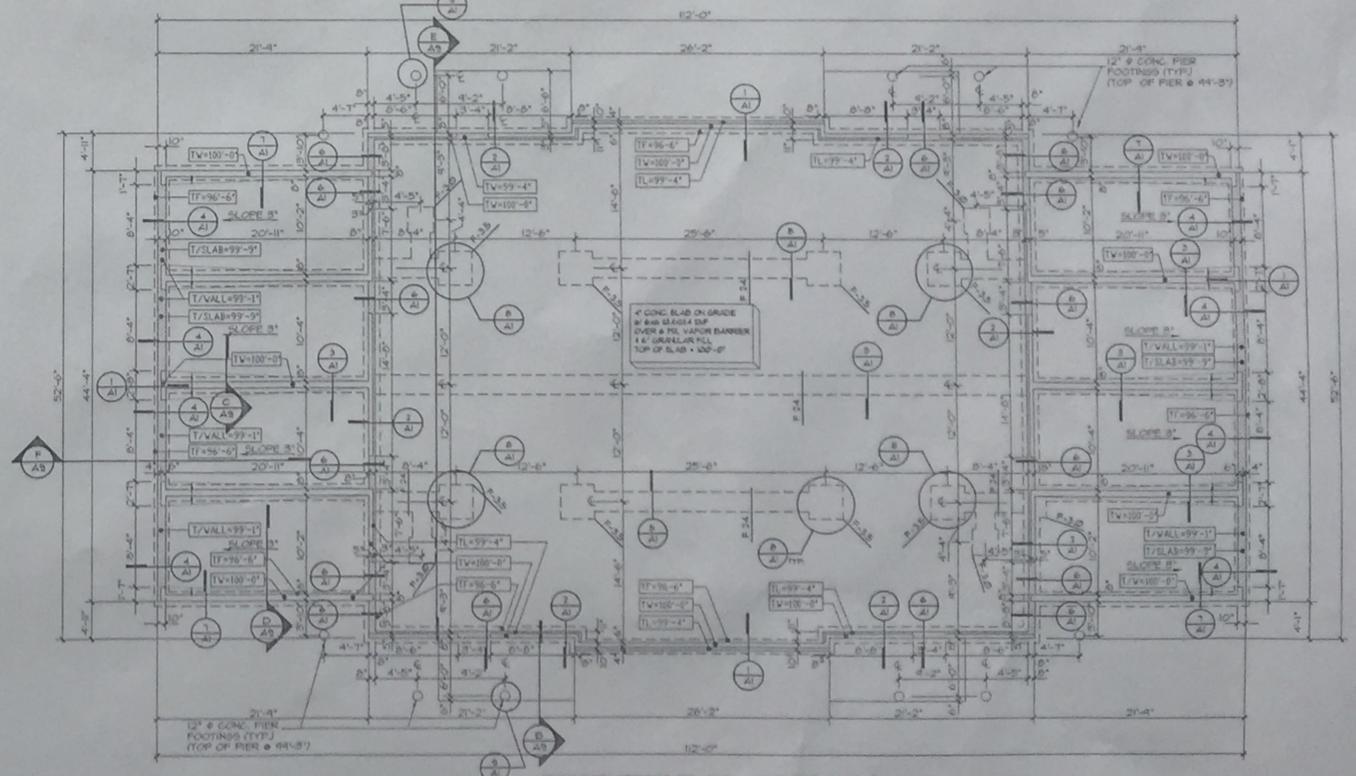
- REINFORCING NOTES**
- REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 318-74.
 - ALL LAPS SHALL BE CLASS 'C' UNLESS OTHERWISE NOTED ON THE DESIGN DRAWINGS OR UNLESS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE TOP BAR LAP LENGTHS FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLABS AND BEAMS OVER 4'-0\"/>
 - LAP LENGTH SHALL BE SPECIFICALLY NOTED ON PLACING DRAWINGS WHERE MORE THAN ONE BAR TYPES UP A CONTINUOUS STRING.
 - CORNER BARS WITH CLASS 'C' LAPS SHALL BE PROVIDED AT WALL CORNERS AND INTERSECTIONS PER ACI 318-74 TABLE 12.5 EXCLUDING TOP CENTER DETAIL.
 - HORIZONTAL BARS EXCEPT FOR CONTINUOUS ANCHORS NOT OVER CORNER OR OPENING TO ANOTHER SHALL BE DETAILED TO SHOW THE DISTANCE FROM AT LEAST ONE END OF THE BAR TO THE NEAREST BEARING WALL OR LINE OF WALL.
 - WELDED WIRE FABRIC SHALL BE LAPPED AND/OR ANCHORED TO DEVELOP f_y PER ACI 318-74.

- DESIGN STRESSES**
- CAST IN PLACE CONCRETE**
- FOOTINGS: $f'_c = 3000$ psi
 INTERIOR SLAB ON GRADE: $f'_c = 4000$ psi
 EXTERIOR FLATWORK: $f'_c = 4000$ psi
 OTHER: $f'_c = 3000$ psi
- REINFORCING STEEL: $f_y = 60000$ psi
 WELDED WIRE FABRIC: $f_y = 65000$ psi
- STRUCTURAL STEEL**
- TUBE STEEL: $f_y = 46000$ psi (ASTM A500)
 OTHER: $f_y = 36000$ psi (ASTM A36)
- WELDING ELECTRODES**
- E70XX
- SOIL BEARING PRESSURE (PRESUMED)**: 5000 P.S.F.
- PERIMETER FOOTING SIZE**
- TF = TOP OF FOOTING ELEVATION
 TW = TOP OF WALL ELEVATION
 TL = TOP OF LEDGE ELEVATION
 FOOTING STEP
- POURED CONCRETE FOUNDATION WALLS**
- LEDGE AT FOUNDATION WALL

FOOTING SCHEDULE

MARK	SIZE	REINFORCING
F-2.0	2'-0" x 2'-0" x 12"	3 - #4 BARS EACH WAY
F-3.0	3'-0" x 3'-0" x 12"	4 - #4 BARS EACH WAY
F-3.5	3'-6" x 3'-6" x 12"	5 - #4 BARS EACH WAY
F-4.0	4'-0" x 4'-0" x 12"	6 - #4 BARS EACH WAY
F-24	2'-0" WIDE x 12"	2 - #5 BARS LONG
TYP. WALL FOOTING	20" WIDE x 10"	

- NOTE**
- COORDINATE FLOOR DRAIN LOCATIONS WITH PLUMBING CONTRACTOR.
 - COLUMN FOOTINGS AT WALL ENDS ARE NOT ALWAYS CENTERED ON COLUMNS - SEE FOUNDATION PLAN FOR DIMENSION OFFSETS AT AFFECTED COLUMNS.



FOUNDATION PLAN - BUILDING 'A'
1/8" = 1'-0"



GARY BRINK & ASSOCIATES
ARCHITECTS

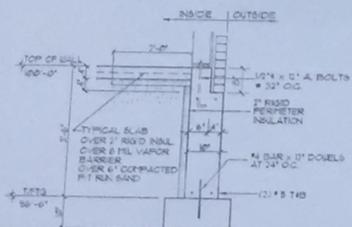
6506 SCHROEDER ROAD
MADISON, WI 53711
608-273-9636
608-273-3757 (FAX)

PROJECT: SUNSET DRIVE APARTMENTS
SUNSET DRIVE
MILTON, WISCONSIN

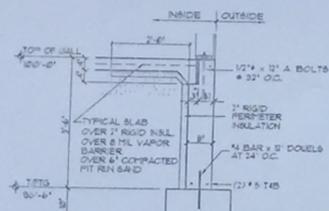
CLIENT: MIRKWOOD DEVELOPMENT, INC.
1507 NEWPORT AVENUE
JANESVILLE, WISCONSIN 53534

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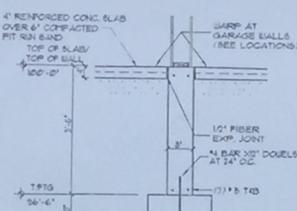
PROJECT: 9746
 CAD FILE: A1-9746
 DRAWN BY: TB
 DATE: 05/15/98



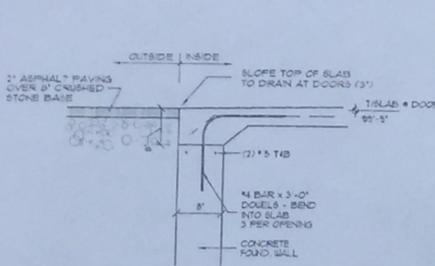
1
A2
10' WALL AT BRICK
SCALE: 1/2" = 1'-0"



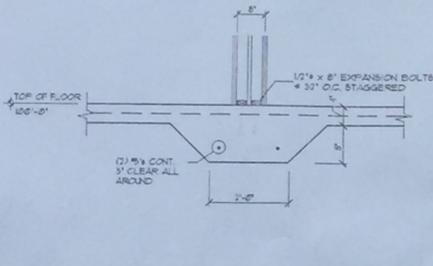
2
A2
8' WALL AT SIDING
SCALE: 1/2" = 1'-0"



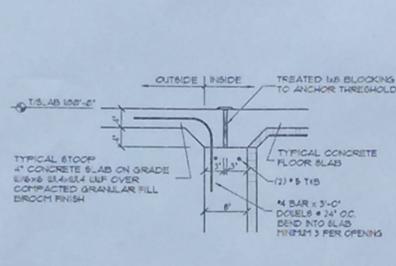
3
A2
FOUNDATION BRG WALL IN GARAGE
SCALE: 1/2" = 1'-0"



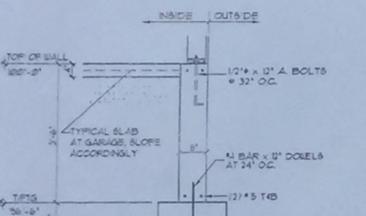
4
A2
WALL AT GARAGE DOOR
SCALE: 3/4" = 1'-0"



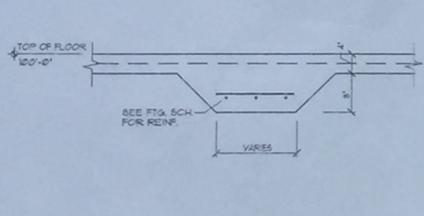
5
A2
THICKENED SLAB
SCALE: 1/2" = 1'-0"



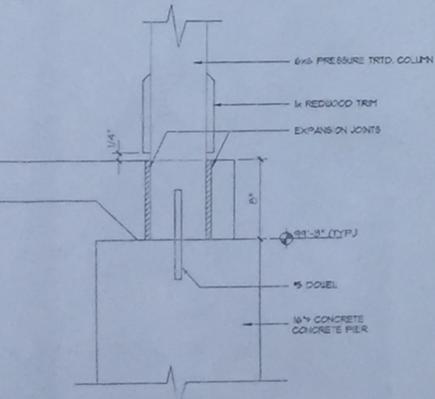
6
A2
STOOP & FROST WALL (ENTRY DOOR)
SCALE: 3/4" = 1'-0"



7
A2
8' WALL AT GARAGE
SCALE: 1/2" = 1'-0"



8
A2
THICKENED SLAB & WOOD COLUMNS
SCALE: 1/2" = 1'-0"



9
A2
COLUMN FOOTING
SCALE: 1/2" = 1'-0"

REINFORCING NOTES

- REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 318-14.
- ALL LAPS SHALL BE CLASS 'C' UNLESS OTHERWISE NOTED ON THE DESIGN DRAWINGS. ON WALLS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE TOP LAP LAYOUT FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLABS AND RAISE OVER 1' DEEP.
- LAP LENGTH SHALL BE SPECIFICALLY NOTED ON PLACING DRAWINGS WHERE MORE THAN ONE BAR PAGES UP A CONTIGUOUS STEEL.
- CORNER BARS WITH CLASS 'C' LAPS SHALL BE PROVIDED AT WALL CORNERS AND INTERSECTIONS PER ACI 318-14 FIGURE 2-1.2 ENCLICING TOP CENTER DETAIL.
- HORIZONTAL BARS EXCEPT FOR CONTINUOUS STRIPS FROM ONE CORNER OR OPENING TO ANOTHER SHALL BE DETAILED TO BEND THE DISTANCE FROM AT LEAST ONE END OF THE BAR TO THE NEAREST BUILDING GRID LINE OR WALL.
- WELDED WIRE FABRIC SHALL BE LAPPED AND/OR ANCHORED TO DEVELOP 1 PER ACI 318-14.

DESIGN STRESSES

CAST-IN-PLACE CONCRETE

FOOTINGS	F _c = 3000 psi
INTERIOR SLAB ON GRADE	F _c = 4000 psi
EXTERIOR FLATWORK	F _c = 4000 psi
OTHER	F _c = 3000 psi
REINFORCING STEEL	F _y = 40000 psi
WELDED WIRE FABRIC	F _y = 65000 psi

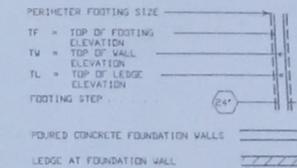
STRUCTURAL STEEL

TUBE STEEL	F _y = 46000 psi (ASTM A500)
OTHER	F _y = 36000 psi (ASTM A36)

WELDING ELECTRODES

	E70XX
--	-------

SOIL BEARING CAPACITY (PRESUMED) : 3000 P.S.F.

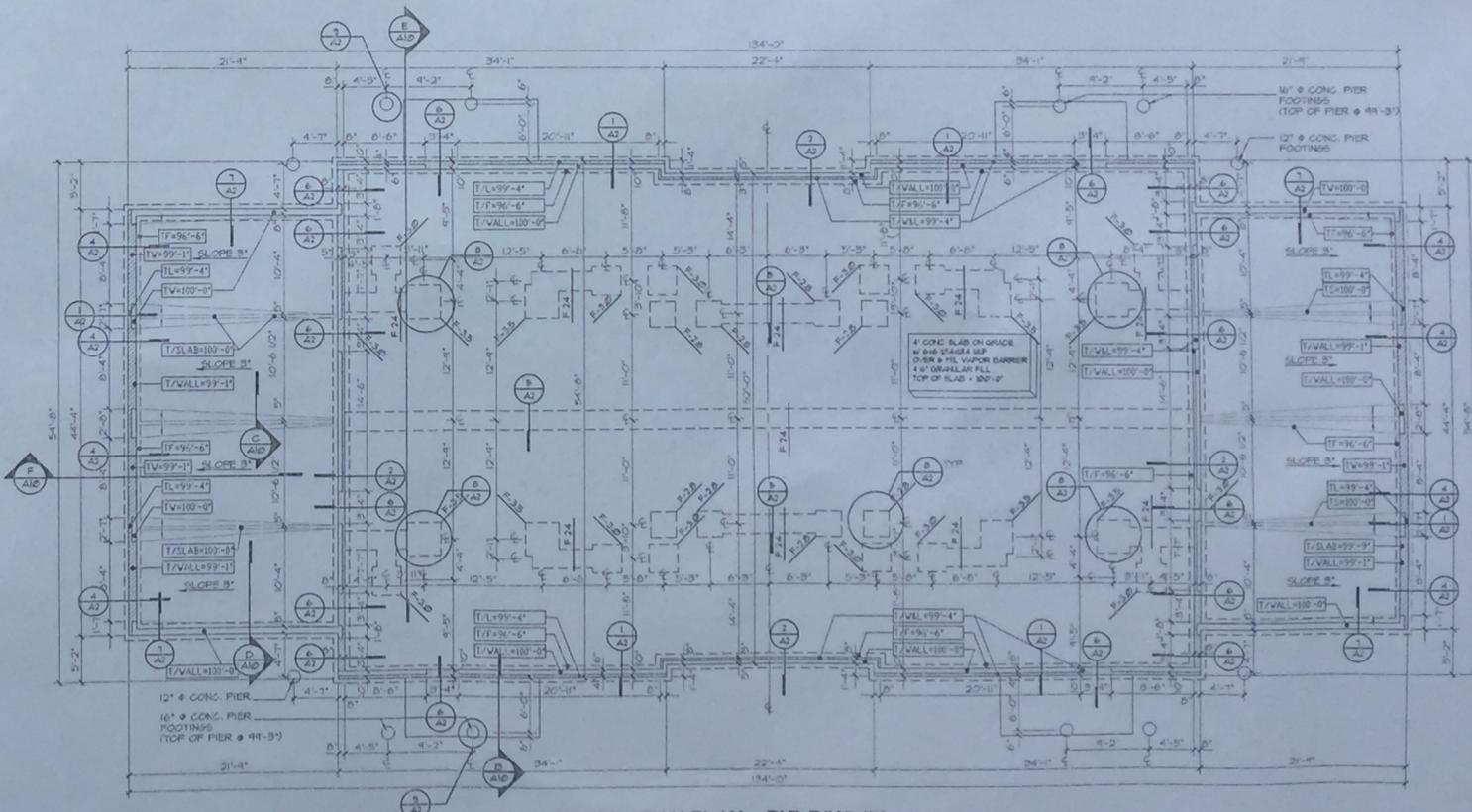


FOOTING SCHEDULE

MARK	SIZE	REINFORCING
F-2.5	2'-0" x 2'-0" x 12"	3 - #4 BARS EACH WAY
F-3.0	3'-0" x 3'-0" x 12"	4 - #4 BARS EACH WAY
F-3.5	3'-6" x 3'-6" x 12"	5 - #4 BARS EACH WAY
F-4.0	4'-0" x 4'-0" x 12"	6 - #4 BARS EACH WAY
F-24	2'-0" WIDE x 12"	2 - #5 BARS LONG
TYP. HALL FOOTING	2'-0" WIDE x 10"	

NOTE:

- COORDINATE FLOOR DRAIN LOCATIONS WITH PLUMBERS CONTRACTOR.
- COLUMN FOOTINGS AT HALL ENDS ARE NOT ALWAYS CENTERED ON COLUMNS - SEE FOUNDATION PLAN FOR DIMENSION OFFSETS AT AFFECTED COLUMNS.



FOUNDATION PLAN - BUILDING 'B'
1/8" = 1'-0"



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6500 WISCONSIN ROAD
MILTON, WISCONSIN 53711
608-271-3636
608-271-3757 (FAX)

PROJECT: SUNSET DRIVE APARTMENTS
SUNSET DRIVE
MILTON, WISCONSIN
CLIENT: MIRKWOOD DEVELOPMENT, INC.
1507 NEWPORT AVENUE
JANESVILLE, WISCONSIN

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DRAWN BY: TB
DATE: 05/15/98

NOTES:

ATTIC SMOKE COMPARTMENT:

INDICATES LOCATION OF ATTIC FIRESTOP, 5/8" x 6" GYP. SHEATHING APPLIED OVER ONE SIDE OF TRUSS OR ROOF RAFTER FROM CEILING LINE TO TIGHT TO ROOF DECK - EXTEND THRU OVERHANGS TO FASCIAS

ROOF TRUSS DESIGN LOADS AND NOTES

- GENERAL TRUSS NOTES:**
- USE TRUSS TIE DOWN CLIPS AT ALL BEARING POINTS WITH SIMPSON H 2.5
 - ALL TRUSSES SHALL BE SIMPLE SPAN
 - COMPLY WITH ALL STATE AND LOCAL REQUIREMENTS FOR SNOW DRIFT BUILD UP LOADS WHERE APPLICABLE
 - PROVIDE GABLE TRUSS AT EACH END OF CAYHEADBACK IN ADDITION TO TRUSSES SHOWN
- ROOF TRUSS DESIGN LOADS:**
- ALL TRUSSES SHALL BE DESIGNED FOR A MINIMUM OF 50 PSF LIVE LOAD PLUS 25 PSF DEAD LOAD (50 PSF TOP CHORD TO PSF BOTTOM CHORD)
 - ALL TRUSSES SHALL BE DESIGNED FOR A MINIMUM UPLIFT OF 20 PSF OVER INTERIOR SPACES AND 50 PSF AT EXTERIOR CANOPIES AND SOFFITS (MIN 5 PSF TOTAL DEAD LOAD)
 - OTHER LIVE LOADS SHOWN ON THESE DRAWINGS ARE IN ADDITION TO THOSE LISTED ABOVE
 - OTHER LIVE LOADS SHOWN ON THESE DRAWINGS ARE IN ADDITION TO THOSE LISTED ABOVE
 - UNTIL LIVE LOAD DEFLECTION TO L/240
 - CHECK VERTICALLY PROJECTING ELEMENTS FOR 20 PSF HEAD LOAD
 - USE SIMPSON H-5 - ONE @ EACH BEARING POINT OF ALL TRUSSES (TYP)

ROOF TRUSS BRACING NOTES:

- ALL BRACINGS SHOWN OR DESCRIBED SHALL BE MINIMUM 2x4 WITH 2 - #6 NAILS IN EVERY TRUSS IT CROSSES
- ALL TRUSS TOP CHORDS SHALL BE CONTINUOUSLY BRACED BY THE ROOF DECKING
- ALL TRUSS WEB MEMBERS SHALL BE BRACED AT 4'-0" O.C. UNLESS CALCULATIONS SHOW OTHERWISE
- ALL HORIZONTAL BRACINGS SHALL BE STIFFENED AT 20'-0" O.C. WITH EITHER:
 - DIAGONAL BRACINGS EXTENDED TO A SHEAR WALL PARALLEL TO THE ORIGINAL BRACING. SEE BRACING DETAILS A AND B.
 - A 1/2" PLYWOOD SHEET EXTENDED TO THE ROOF DECK OR SHEAR WALL.
- ALL TRUSS BOTTOM CHORDS SHALL BE BRACED AT 6'-0" O.C. UNLESS CALCULATIONS SHOW OTHERWISE. CONTINUOUS SHEETING APPLIED TO THE BOTTOM CHORD WILL SATISFY THIS BRACING REQUIREMENT (SEE DETAIL C)

TRUSS SHOP DRAWINGS NOTES:

WOOD TRUSS SHOP DRAWINGS SHALL SHOW THE FOLLOWING INFORMATION:

- ERECTOR PLAN, SHOWING DIMENSIONED LOCATION AND TRUSS IDENTIFICATION
 - BEARING DETAILS, SHOWING BEARING LENGTH, WIDTH, AND DEPTH INDICATING CONFORMANCE WITH DESIGN CALCULATIONS
 - DESIGN LOADS, ALL DEAD AND LIVE LOADS SHALL BE SHOWN ON THE FRAMING PLAN OR TRUSS ELEVATION INDICATING CONFORMANCE TO TRUSS CALCULATIONS
 - ALL PERMANENT BRACINGS, SHOW TOP CHORD, BOTTOM CHORD AND WEB MEMBER BRACINGS ON FRAMING PLAN AND TRUSS ELEVATION. SUPPLIER AND INSTALLER OF THE BRACINGS SHALL ALSO BE INDICATED
 - TRUSS DIMENSIONS, SHOW DEPTH, SPAN BEARINGS, HEIGHTS AND SLOPES AT ALL CRITICAL POINTS
- INFORMATION WHICH SHALL BE THE RESPONSIBILITY OF THE TRUSS FABRICATOR AND TRUSS DESIGNER AND SHALL BE PROVIDED WITH THE SHOP DRAWINGS SUBMITTAL:

- MEMBER DESIGN, INCLUDING WEB CONFIGURATION, MEMBER SIZE, GRADE OF LUMBER, FABRICATED SPLICES AND MEMBER BRACINGS REQUIRED BY TRUSS DESIGN
- INTERIOR CONNECTION, DESIGN AND SHOW DETAIL OF WEB AND CHORD CONNECTIONS, CONNECTOR PLATES AND PLATE CAPACITIES
- ERECTOR PLAN, SHOWING SPACING AND LAYOUT OF ANY TEMPORARY BRACINGS REQUIRED FOR ERECTION
- STRUCTURAL DESIGN OF TRUSSES, SUBMITS SETS OR COMPLETE TRUSS CALCULATIONS STAMPED AND SIGNED BY A REGISTERED WISCONSIN ENGINEER FOR SUBMITTAL TO OBTAIN ALL APPROVALS FOR CONFORMANCE WITH WISCONSIN'S BUILDING CODES
- CONTRACTOR, FURNISH INSTALLER WITH ALL DATA AND INFORMATION NECESSARY FOR PROPER INSTALLATION

WIND SHEAR WALL NOTES

EXTERIOR WALLS - ANCHOR 7/8" D.B.B. SHEATHING WITH MIN. #4 NAILS SPACE @ 4' O.C. + PANEL EDGES 12" O.C. IN FIELD

INTERIOR WALLS - WHERE INDICATED ON PLANS FASTEN DRYWALL @ MIN. #4 COOLER NAILS AT 4' O.C.

NOTE THAT SHEAR WALLS EXTEND FROM TOP OF CONC. SLAB TO BOTTOM OF ROOF TRUSSES

ANCHOR BOTTOM PLATE TO CONC. SLAB OR WALL (1ST LEVEL) @ 1/2" x EXP. BOLTS @ 48" O.C.

--- INDICATION FOR INTERIOR SHEAR WALL

LVL (HEADERS/BEAMS) Fd = 2800 PSI
Fv = 250 PSI

D.M. LUMBER - JOISTS Fd = 1500 PSI
Fv = 75 PSI

STUDS Fd = 875 PSI
Fv = 70 PSI

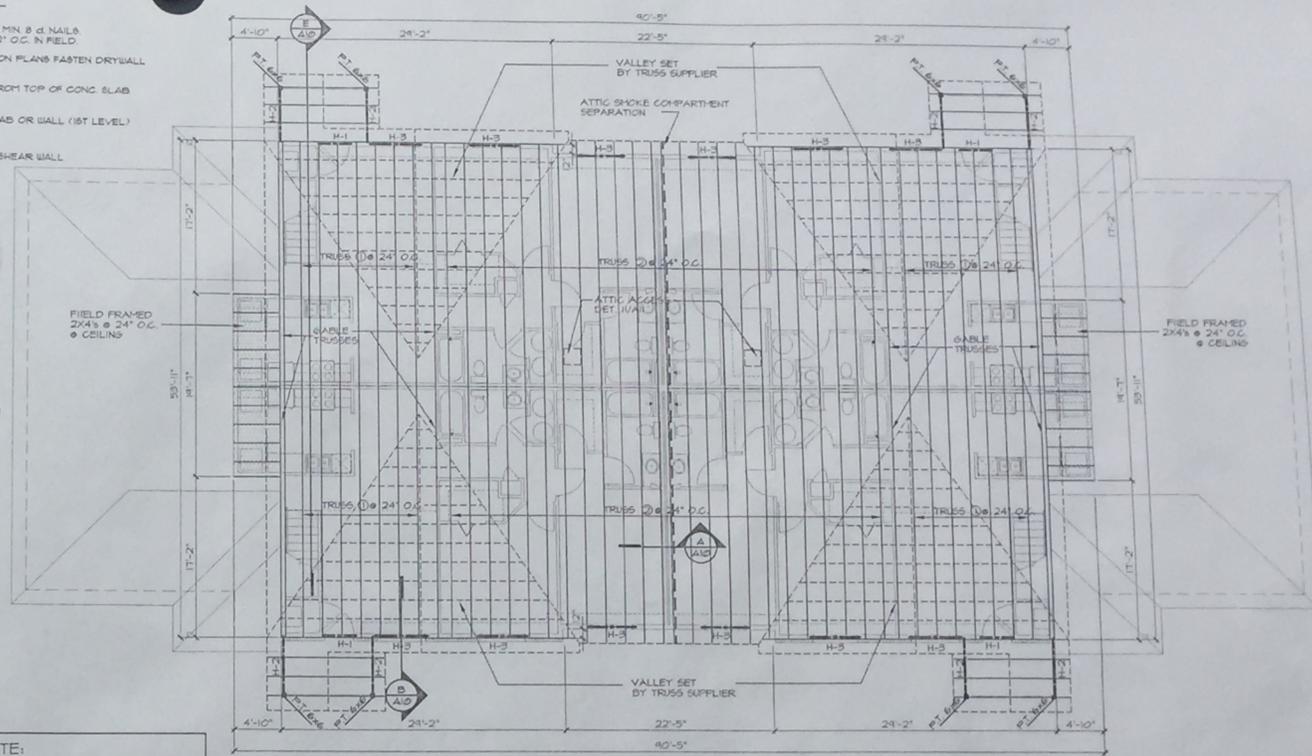
HEADER SCHEDULE

HEADER	SIZE / TYPE	BEARING STUDS
H-1	(2) 2x10's	(2) 2x6's
H-2	(2) 2x10's PRESSURE TRTD	(2) 2x6's MIN.
H-3	(3) 2x10's	(2) 2x6's MIN.
H-4	(2) 9 1/2" LVL's	(3) 2x4's MIN.
H-5	(3) 9 1/2" LVL's	(4) 2x4's MIN.
H-6	(4) 9 1/2" LVL's	(4) 2x4's MIN.

*TYPICAL @ ALL HEADERS. PROVIDE SOLID SUPPORT FULL WIDTH OF BEARINGS

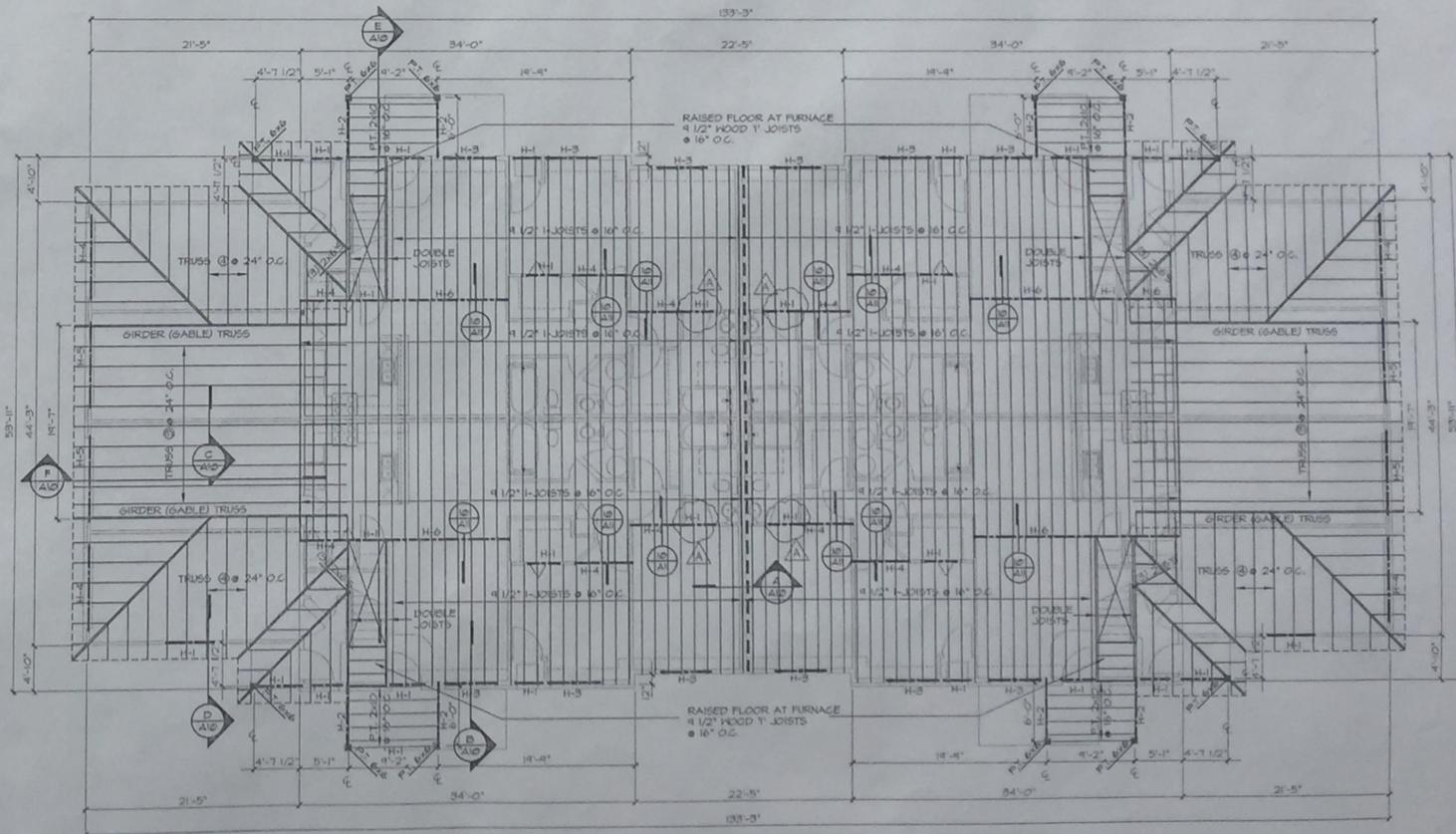
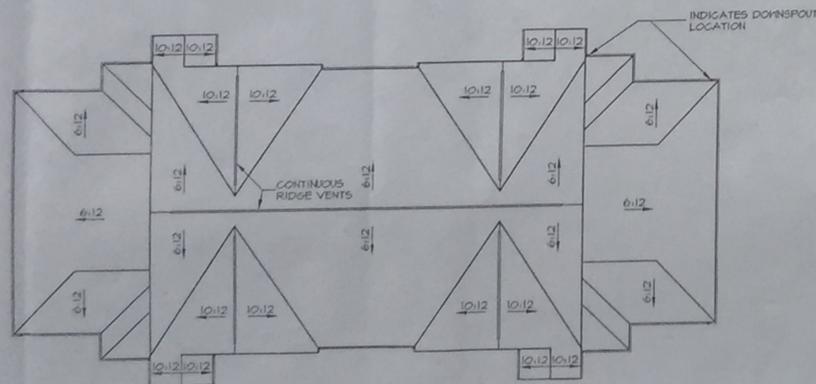
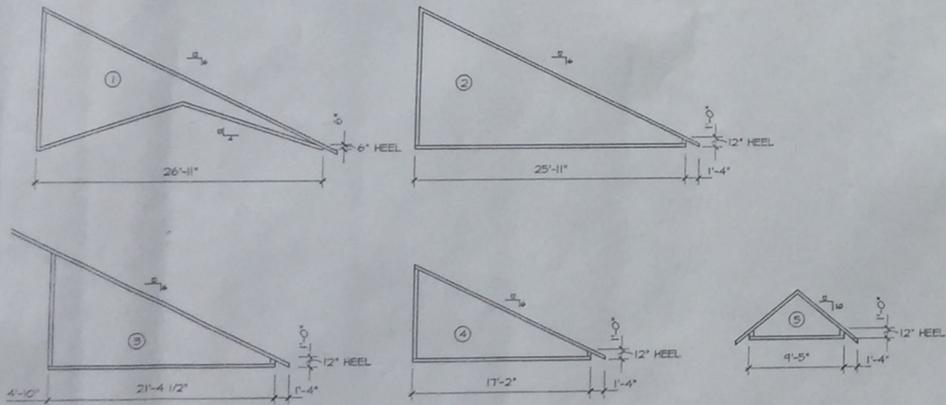
USE H1 HEADERS AT MISC. WALL OPENINGS NOT NOTED ELSEWHERE

NOTE: ALL DIMENSIONS ON FRAMING PLANS ARE STUD FACE TO STUD FACE



TRUSS PROFILES

1/8" = 1'-0"



GARY BRINK & ASSOCIATES
ARCHITECTS

6506 SCHROEDER ROAD
MADISON, WI 53711
608-273-9636
608-273-3757 (FAX)

PROJECT: SUNSET DRIVE APARTMENTS
SUNSET DRIVE
MILTON, WISCONSIN

CLIENT: MIFKWOOD DEVELOPMENT, INC.
1507 NEWPORT AVENUE
JANESVILLE, WISCONSIN 53535

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CAD FILE: A4-9746
DRAWN BY: TB
DATE: 05/26/98
REV: 06/10/98



GARY BRINK & ASSOCIATES
ARCHITECTS

6506 SCHROEDER ROAD
MADISON, WI 53711
608-273-9636
608-273-3757 (FAX)

TYPICAL UNIT NOTES

1. ALL FIRST FLOOR UNITS TO BE HANDICAP ACCESSIBLE PER WISCONSIN ADMINISTRATION CODE - ILNR 69.
2. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER CLIMATE CONTROLS SHALL BE NO HIGHER THAN 48" ABOVE FINISHED FLOOR AND NO LOWER THAN 15" ABOVE FINISHED FLOOR. THE MAXIMUM HEIGHT AT COUNTERTOPS IS 44", INCLUDING CIRCUIT BREAKER PANELS. PAN OR LIGHT CONTROLS OVER KITCHEN RANGES ARE NOT REQUIRED TO COMPLY.
3. PROVIDE SOLID 2x6 BLOCKING (3/8" TO TOP, ABOVE FINISHED TOP OF TUB. --- INDICATED THIS ON PLANS.
4. ALL BEDROOM CLOSETS TO HAVE TWO CLOTHES RODS AND TWO SHELVES FOR 50% OF CLOSET LENGTH AND ONE SHELF ROD FOR BALANCE. ALL LINEN CLOSETS TO HAVE FOUR SHELVES FULL DEPTH OF CLOSET. ALL OTHER CLOSETS TO HAVE ONE ROD AND ONE SHELF. ALL LAUNDRY ROOMS TO HAVE TWO SHELVES ABOVE WASHER AND DRYER. IN BEDROOM CLOSETS WHERE DOUBLE SHELF AND ROD OCCUR, PROVIDE SHELVING WITH THE TOP SHELF MOUNTED AT 64" AFF. AND BOTTOM SHELF MOUNTED AT 44" AFF.
5. WALLS AND CEILINGS OF ALL CLOSETS AT FIRST FLOOR UNITS UNDER STAIRS LEADING TO SECOND FLOOR UNITS TO HAVE TWO LAYERS OF 5/8" TYPE 'X' DRYWALL APPLIED TO 2x WOOD FRAMING AT STRINGERS AT 24" O.C.
6. VERIFY ROUGH OPENINGS REQ'D AT TUB/SHOOWER UNITS BEFORE CONSTRUCTING WALLS.

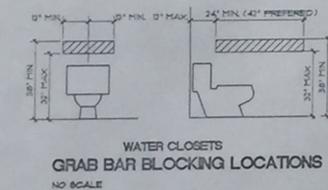
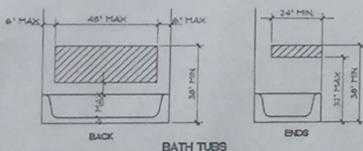
TYPICAL TOILET FIXTURES

- (A) MEDICINE CABINET • 48" AFF. TO BOTCH OF CABINET
- (B) 24" TOWEL BAR • 40" AFF.
- (C) 18" TOWEL BAR • 48" AFF.
- (D) TOILET DISPENSER • 18" AFF.

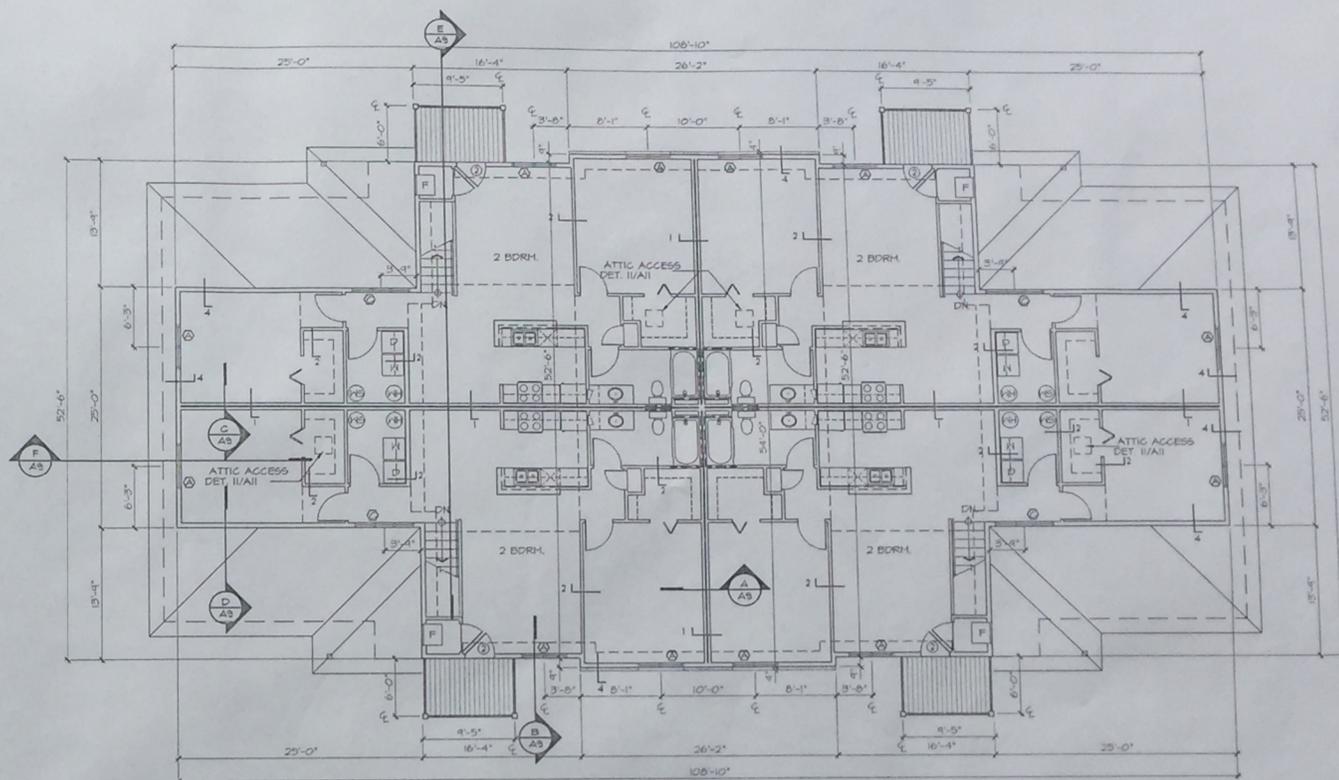
NOTES:

1. TYPICAL PARTY WALL: DOUBLE 2x4 STUD WALL AT 16" O.C. 1" GAP BETWEEN WALLS - 5/8" DRYWALL BOTH SIDES - 2 LAYERS 2 1/2" SOUND BATT INSULATION IN CAVITY.
2. TYPICAL INTERIOR PARTITION: 2x4 STUDS @ 16" O.C. W/ 1/2" DRYWALL BOTH SIDES.
3. TYPICAL PLUMBING WALL: 2x6 STUDS @ 16" O.C. W/ 5/8" DRYWALL BOTH SIDES. WHERE PLUMBING WALL IS ALSO PARTY WALL USE WALL TYPE 1 AND APPLY 5/8" TYPE 'X' GUS OVER ENTIRE WALL BEFORE SETTING TUB MODULE - ADJUST WALL DIMENSIONS AS REQ'D AT TUB MODULES.
4. 2x6 STUDS AT 16" O.C. W/ 6" BATT INSULATION AND 5/8" DRYWALL ON UNIT SIDE & 7/16" OSB SHEATHING ON EXTERIOR SIDE.
5. SECONDARY PARTY WALL: 2x4 OR 2x6 STUDS @ 16" O.C. W/ 3 1/2" SOUND BATT & 5/8" DRYWALL BOTH SIDES. (USED @ STAIRWELL ONLY).
6. TYPICAL EXTERIOR PARTITION @ GARAGES: 2x4 STUDS @ 16" O.C. W/ EXTERIOR SHEATHING ON I SIDE AND 5/8" TYPE 'X' DRYWALL ON INTERIOR SIDE. FIRE TAPE ONLY.
7. INTERIOR GARAGE WALL TO UNIT: 2x6 STUDS @ 16" O.C. W/ 6" R-13 BATT INSULATION & 5/8" TYPE 'X' DRYWALL BOTH SIDES.
8. WALLS SEPARATING UNITS: 2x4 STUDS @ 16" O.C. WITH 5/8" TYPE 'X' BOTH SIDES. FIRE TAPE ONLY.

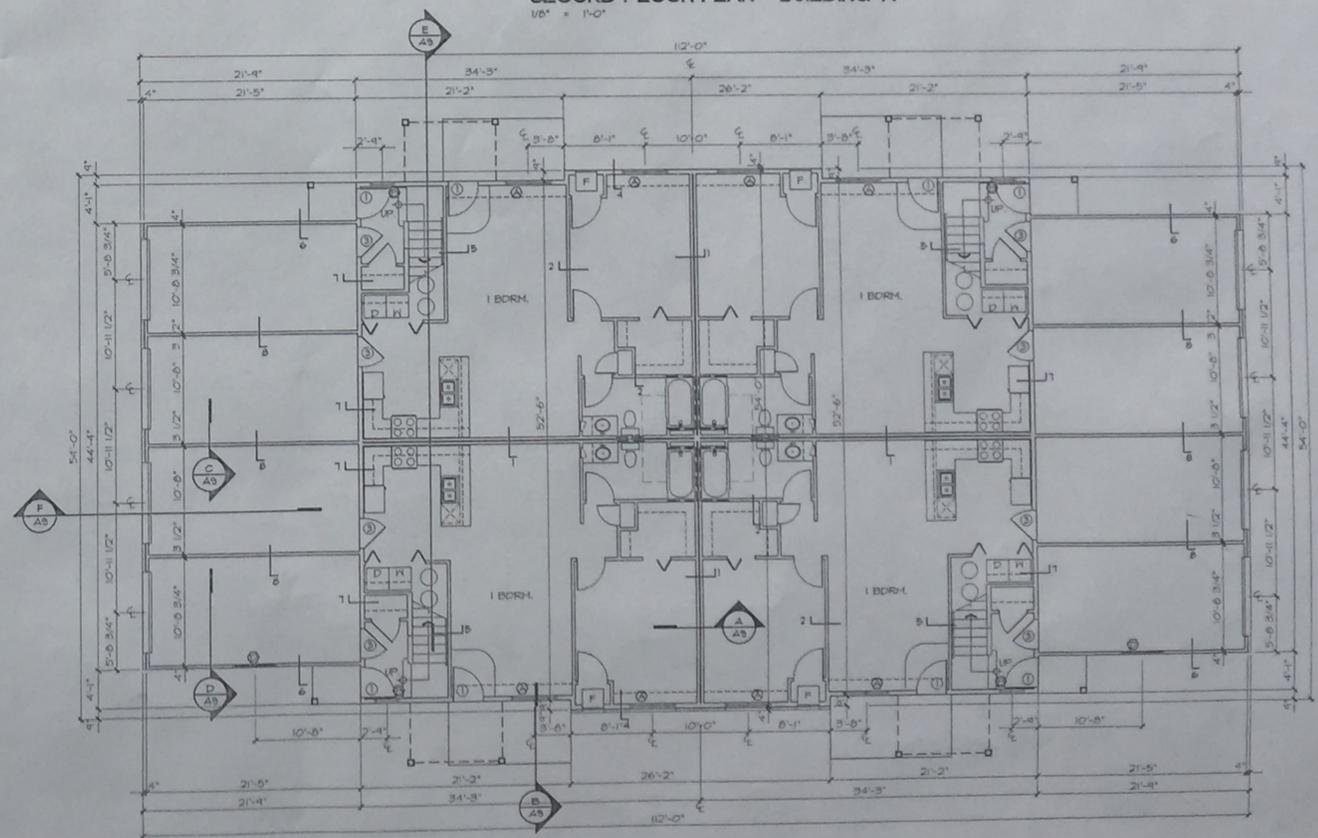
NOTE:
INSIDE DIMENSIONS ARE
STUD FACE TO STUD FACE.
OUTSIDE DIMENSIONS ARE
TO OUTSIDE FACE OF
SHEATHING.



WATER CLOSETS
GRAB BAR BLOCKING LOCATIONS
NO SCALE



SECOND FLOOR PLAN - BUILDING 'A'
1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING 'A'
1/8" = 1'-0"

PROJECT: SUNSET DRIVE APARTMENTS
SUNSET DRIVE
MILTON, WISCONSIN
CLIENT: MIRKWOOD DEVELOPMENT, INC.
1507 NEWPORT AVENUE
JANESVILLE, WISCONSIN 53545

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PROJECT: 9746
CAD FILE: A5-9746
DRAWN BY: TB
DATE: 05/5/98

TYPICAL UNIT NOTES

- ALL FIRST FLOOR UNITS TO BE HANDICAP ACCESSIBLE PER WISCONSIN ADMINISTRATION CODE - LHR 9.3.
- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER CLIMATE CONTROLS SHALL BE NO HIGHER THAN 48" ABOVE FINISHED FLOOR AND NO LOWER THAN 5' ABOVE FINISHED FLOOR. THE MAXIMUM HEIGHT AT COUNTERTOPS IS 44" INCLUDING CIRCUIT BREAKER PANELS. FAN OR LIGHT CONTROLS OVER KITCHEN RANGES ARE NOT REQUIRED TO COMPLY.
- PROVIDE SOLID 2x6 BLOCKING (38" TO TOP ABOVE FINISHED TOP OF TUB) INDICATED THIS ON PLANS.
- ALL BEDROOM CLOSETS TO HAVE TWO CLOTHES RODS AND TWO SHELVES FOR 80% OF CLOSET LENGTH AND ONE SHELF ROD FOR BALANCE. ALL LINEN CLOSETS TO HAVE FOUR SHELVES FULL DEPTH OF CLOSET. ALL OTHER CLOSETS TO HAVE ONE ROD AND ONE SHELF. ALL LAUNDRY ROOMS TO HAVE TWO SHELVES ABOVE WASHER AND DRYER. IN BEDROOM CLOSETS WHERE DOUBLE SHELF AND ROD OCCUR, PROVIDE SHELVING WITH THE TOP SHELF MOUNTED AT 84" AFF. AND BOTTOM SHELF MOUNTED AT 44" AFF.
- WALLS AND CEILING OF ALL CLOSETS AT FIRST FLOOR UNITS UNDER STAIRS LEADING TO SECOND FLOOR UNITS TO HAVE TWO LAYERS OF 5/8" TYPE "X" DRYWALL APPLIED TO 2x WOOD FRAMING AT STRINGERS AT 24" O.C.
- VERIFY ROUGH OPENINGS REQ'D AT TUB/SHOWER UNITS BEFORE CONSTRUCTING WALLS.

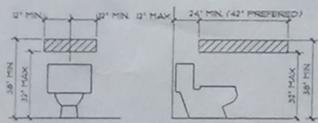
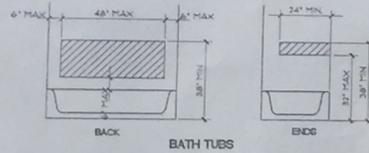
TYPICAL TOILET FIXTURES

- (A) MEDICINE CABINET • 48" AFF. TO BOTTOM OF CABINET
- (B) 24" TOILET BAR • 48" AFF.
- (C) 18" TOILET BAR • 48" AFF.
- (D) TOILET DISPENSER • 18" AFF.

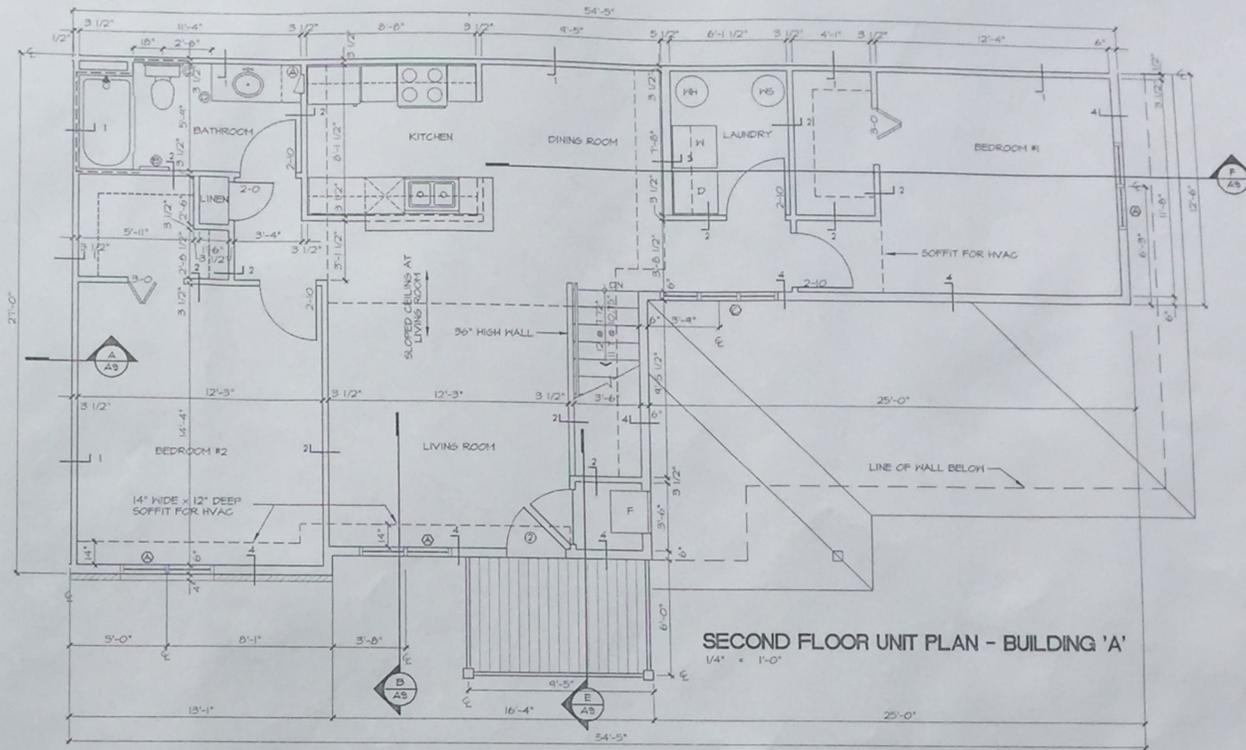
NOTES:

- TYPICAL PARTY WALL: DOUBLE 2x4 STUD/WALL AT 16" O.C. 1" GAP BETWEEN WALLS - 5/8" DRYWALL BOTH SIDES - 3 LAYERS 3/2" SOUND BATT INSULATION IN CAVITY.
- TYPICAL INTERIOR PARTITION: 2x4 STUDS @ 16" O.C. W/ 1/2" DRYWALL BOTH SIDES.
- TYPICAL PLUMBING WALL: 2x6 STUDS @ 16" O.C. W/ 5/8" DRYWALL BOTH SIDES WHERE PLUMBING WALL IS ALSO PARTY WALL USE WALL TYPE 1 AND APPLY 5/8" TYPE "X" GIB OVER ENTIRE WALL BEFORE SETTING TUB MODULE - ADJUST WALL DIMENSIONS AS REQ'D AT TUB MODULES.
- 2x6 STUDS @ 16" O.C. W/ 6" BATT INSULATION AND 5/8" DRYWALL ON UNIT SIDE + 7/16" OSB SHEATHING ON EXTERIOR SIDE.
- SECONDARY PARTY WALL: 2x4 OR 2x6 STUDS @ 16" O.C. W/ 3/2" SOUND BATT & 5/8" DRYWALL BOTH SIDES. (USED @ STAIRWELL ONLY)
- TYPICAL EXTERIOR PARTITION @ GARAGES: 2x4 STUDS @ 16" O.C. W/ EXTERIOR SHEATHING ON 1 SIDE AND 5/8" TYPE "X" DRYWALL ON INTERIOR SIDE FIRE TAPE ONLY.
- INTERIOR GARAGE WALL TO UNIT: 2x6 STUDS @ 16" O.C. W/ 6" R-13 BATT INSULATION + 5/8" TYPE "X" DRYWALL BOTH SIDES.
- WALLS SEPARATING UNITS: 2x4 STUDS @ 16" O.C. WITH 5/8" TYPE "X" BOTH SIDES FIRE TAPE ONLY.

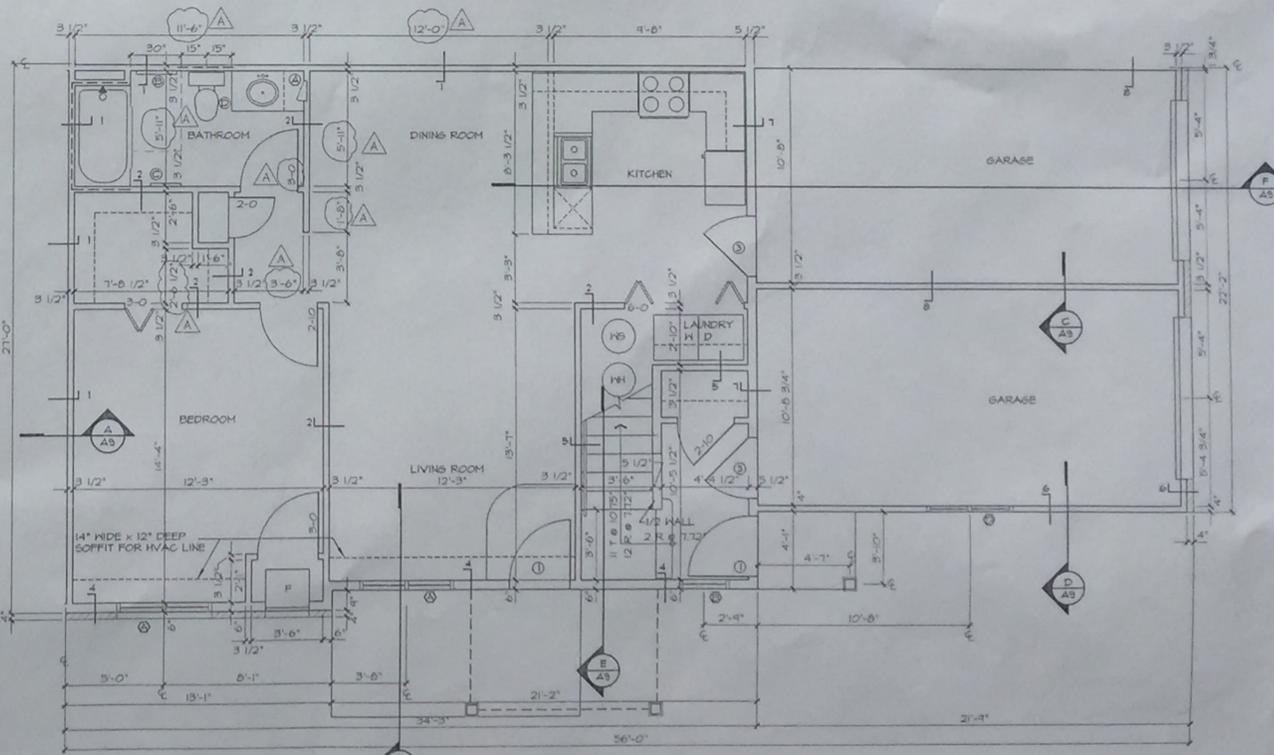
NOTE:
INSIDE DIMENSIONS ARE STUD FACE TO STUD FACE.
OUTSIDE DIMENSIONS ARE TO OUTSIDE FACE OF SHEATHING.



**WATER CLOSETS
GRAB BAR BLOCKING LOCATIONS**
NO SCALE



SECOND FLOOR UNIT PLAN - BUILDING 'A'
1/4" = 1'-0"



FIRST FLOOR UNIT PLAN - BUILDING 'A'
1/4" = 1'-0"



GARY BRINK & ASSOCIATES
ARCHITECTS

6506 SCHROEDER ROAD
WAUWATOSA, WI 53711
608-273-9636
608-273-3757 (FAX)

PROJECT: **SUNSET DRIVE APARTMENTS**
SUNSET DRIVE
MILTON, WISCONSIN

CLIENT: **MIRKWOOD DEVELOPMENT, INC.**
1507 NEWPORT AVENUE
JANESVILLE, WISCONSIN 53545

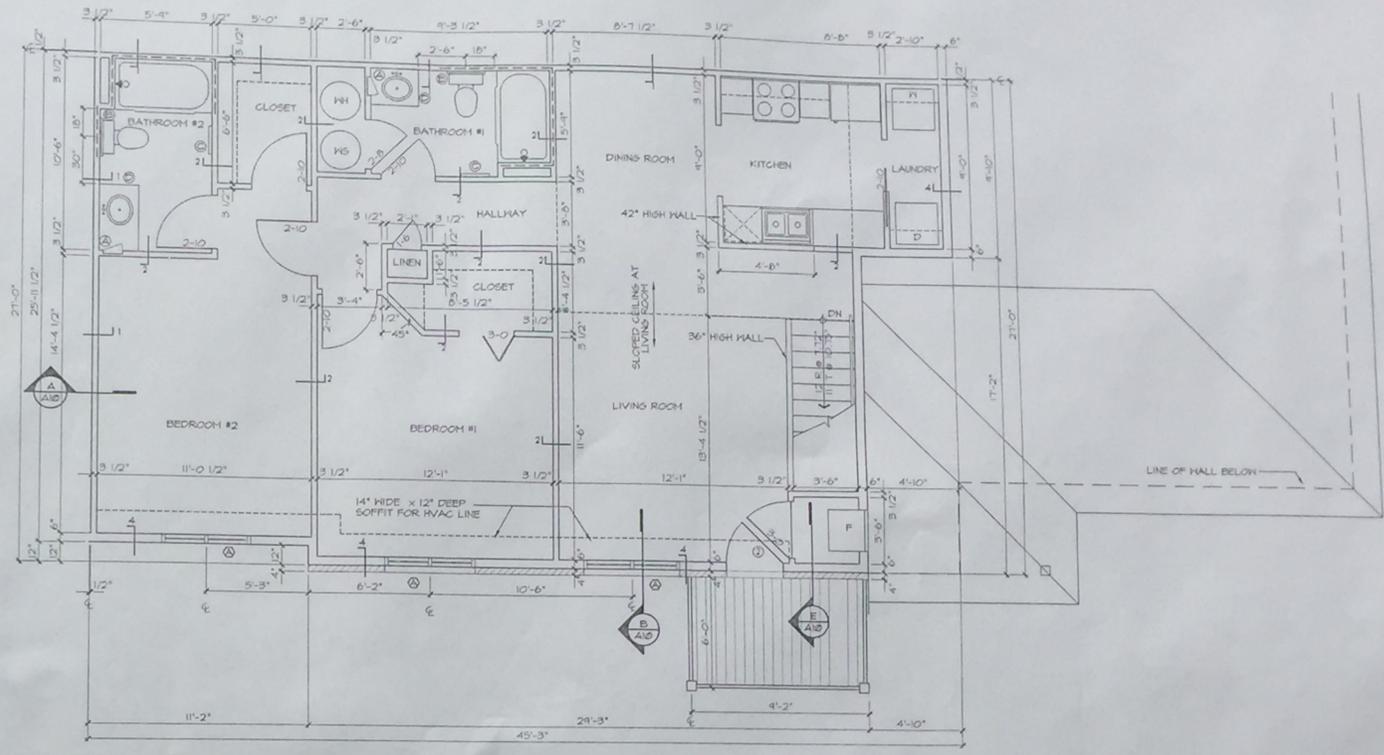
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PROJECT: 9746
CAD FILE: A51-9746
DRAWN BY: TB
DATE: 05/15/98
REV. A 06/10/98



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ARCHITECTS
6506 SCHROEDER ROAD
MADISON, WI 53711
608-273-9636
608-273-3757 (FAX)

- NOTES:
- 1 TYPICAL PARTY WALL:
DOUBLE 2x4 STUD WALL AT 16" O.C.
1" GAF BETWEEN WALLS - 5/8" DRYWALL
BOTH SIDES - 2 LAYERS 3 1/2" SOUND BATT
INSULATION IN CAVITY
 - 2 TYPICAL INTERIOR PARTITION:
2x4 STUDS @ 16" O.C. w/ 1/2" DRYWALL BOTH SIDES
 - 3 TYPICAL PLUMBING WALL:
2x6 STUDS @ 16" O.C. w/ 5/8" DRYWALL BOTH SIDES
WHERE PLUMBING WALL IS ALSO PARTY WALL USE WALL TYPE 1
AND APPLY 5/8" TYPE 'X' GWB OVER ENTIRE WALL BEFORE SETTING
TUB MODULE - ADJUST WALL DIMENSIONS AS REQ'D AT TUB MODULES
 - 4 2x6 STUDS AT 16" O.C. w/ 6" BATT INSULATION AND 5/8" DRYWALL
ON UNIT SIDE & 1/2" OSB SHEATHING ON EXTERIOR SIDE
 - 5 SECONDARY PARTY WALL: 2x4 OR 2x6 STUDS @ 16" O.C.
w/ 3 1/2" SOUND BATT & 5/8" DRYWALL BOTH SIDES
(USED - STAIRWELL ONLY)
 - 6 TYPICAL EXTERIOR PARTITION @ GARAGES:
2x4 STUDS @ 16" O.C. w/ EXTERIOR SHEATHING ON 1 SIDE
AND 5/8" TYPE 'X' DRYWALL ON INTERIOR SIDE FIRE TAPE ONLY
 - 7 INTERIOR GARAGE WALL TO UNIT:
2x6 STUDS @ 16" O.C. w/ 6" R-19 BATT INSULATION & 5/8" TYPE 'X'
DRYWALL BOTH SIDES
 - 8 WALLS SEPARATING UNITS:
2x4 STUDS @ 16" O.C. WITH 5/8" TYPE 'X' BOTH SIDES
FIRE TAPE ONLY

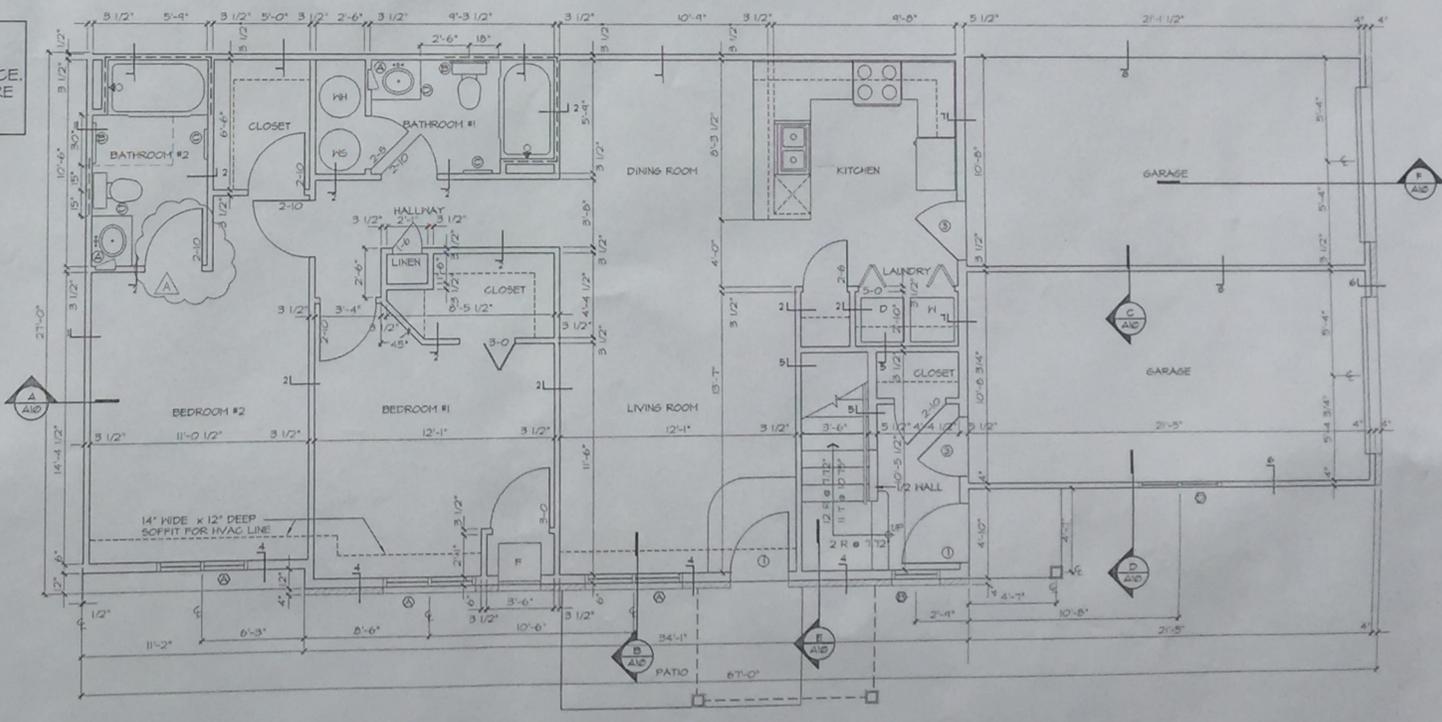


SECOND FLOOR UNIT PLAN - BUILDING 'B'
1/8" = 1'-0"

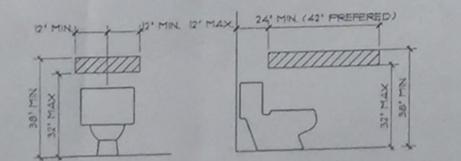
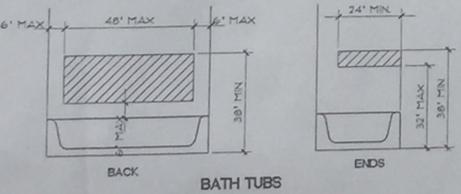
- TYPICAL UNIT NOTES
- 1 ALL FIRST FLOOR UNITS TO BE HANDICAP ACCESSIBLE PER
WISCONSIN ADMINISTRATION CODE - LHR 6.8
 - 2 LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND
OTHER CLIMATE CONTROLS SHALL BE NO HIGHER THAN
48" ABOVE FINISHED FLOOR AND NO LOWER THAN 15"
ABOVE FINISHED FLOOR. THE MAXIMUM HEIGHT AT
COUNTERTOPS IS 44", INCLUDING CIRCUIT BREAKER
PANELS. FAN OR LIGHT CONTROLS OVER KITCHEN RANGES
ARE NOT REQUIRED TO COMPLY.
 - 3 PROVIDE SOLID 2x6 BLOCKING (38" TO TOP,
ABOVE FINISHED TOP OF TUB
--- INDICATED THIS ON PLANS.
 - 4 ALL BEDROOM CLOSETS TO HAVE TWO CLOTHES RODS AND
TWO SHELVES FOR 80% OF CLOSET LENGTH AND ONE SHELF
ROD FOR BALANCE. ALL LINEN CLOSETS TO HAVE FOUR
SHELVES ALL DEPTH OF CLOSET. ALL OTHER CLOSETS
TO HAVE ONE ROD AND ONE SHELF. ALL LAUNDRY ROOMS
TO HAVE TWO SHELVES ABOVE WASHER AND DRYER.
IN BEDROOM CLOSETS WHERE DOUBLE SHELF AND
ROD OCCUR PROVIDE
SHELVING WITH THE TOP SHELF MOUNTED AT 84" AFF.
AND BOTTOM SHELF MOUNTED AT 44" AFF.
 - 5 WALLS AND CEILING OF ALL CLOSETS AT FIRST FLOOR
UNITS UNDER STAIRS LEADING TO SECOND FLOOR UNITS
TO HAVE TWO LAYERS OF 5/8" TYPE 'X' DRYWALL
APPLIED TO 2x WOOD FRAMING AT STRINGERS AT 24" O.C.
 - 6 VERIFY ROUGH OPENINGS REQ'D AT TUB/SHOWER UNITS
BEFORE CONSTRUCTING WALLS.

- TYPICAL TOILET FIXTURES
- (A) MEDICINE CABINET @ 48" AFF. TO BOTTOM OF CABINET
 - (B) 24" TOWEL BAR @ 48" AFF.
 - (C) 18" TOWEL BAR @ 48" AFF.
 - (D) TOILET DISPENSER @ 15" AFF.

NOTE:
INSIDE DIMENSIONS ARE
STUD FACE TO STUD FACE.
OUTSIDE DIMENSIONS ARE
TO OUTSIDE FACE OF
SHEATHING.



FIRST FLOOR UNIT PLAN - BUILDING 'B'
1/8" = 1'-0"



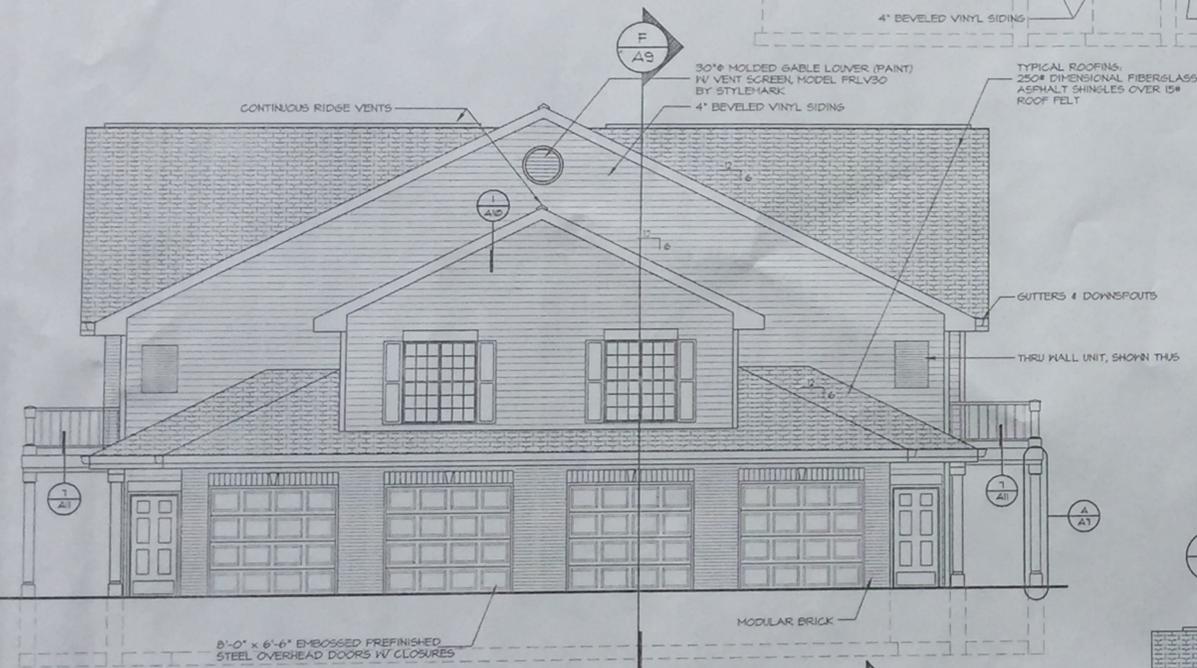
WATER CLOSETS
GRAB BAR BLOCKING LOCATIONS
NO SCALE

PROJECT: SUNSET DRIVE APARTMENTS
SUNSET DRIVE
MILTON, WISCONSIN
CLIENT: MIRKWOOD DEVELOPMENT, INC.
1507 NEWPORT AVENUE JANESVILLE, WISCONSIN 53545

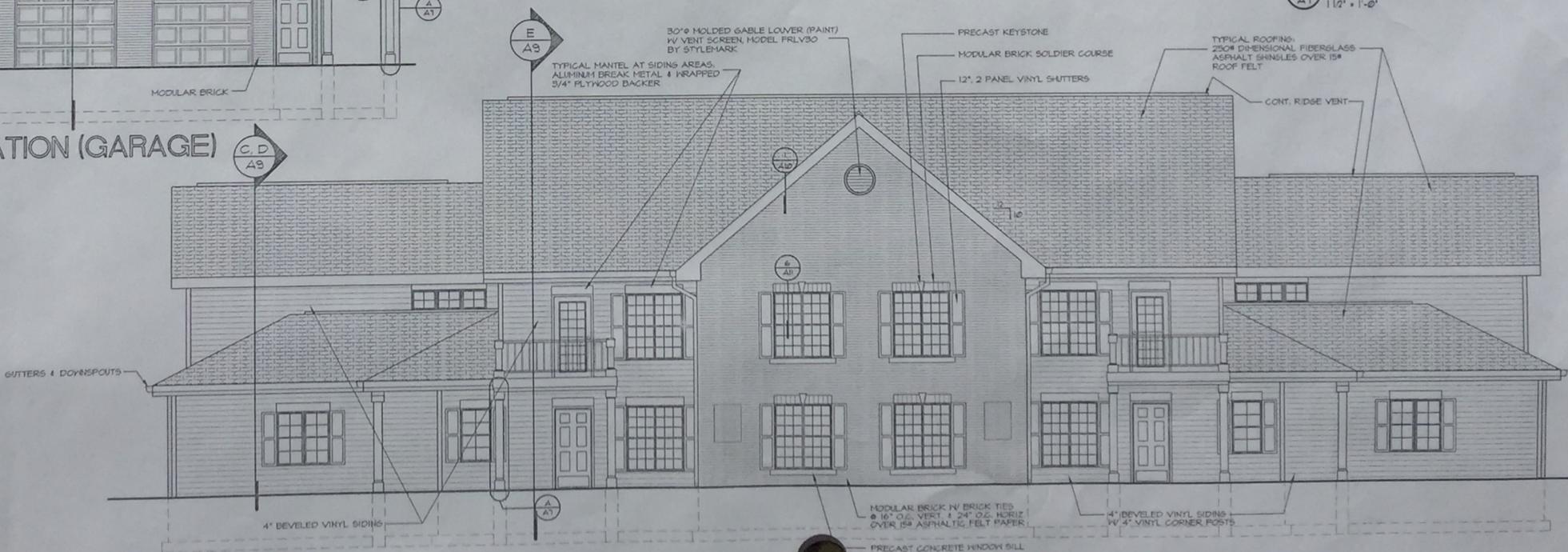
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PROJECT: 9746
CAD FILE: A61-9746
DRAWN BY: TB
DATE: 05/15/98
REV: 06/10/98



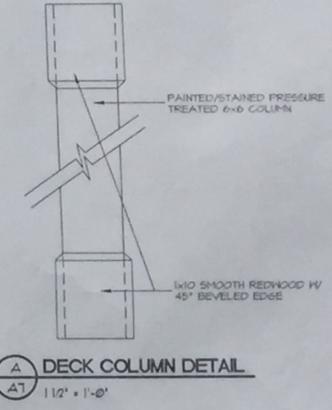
BUILDING 'A' - SIDE ELEVATION (REAR)
3/16" = 1'-0"



BUILDING 'A' - END ELEVATION (GARAGE)
3/16" = 1'-0"



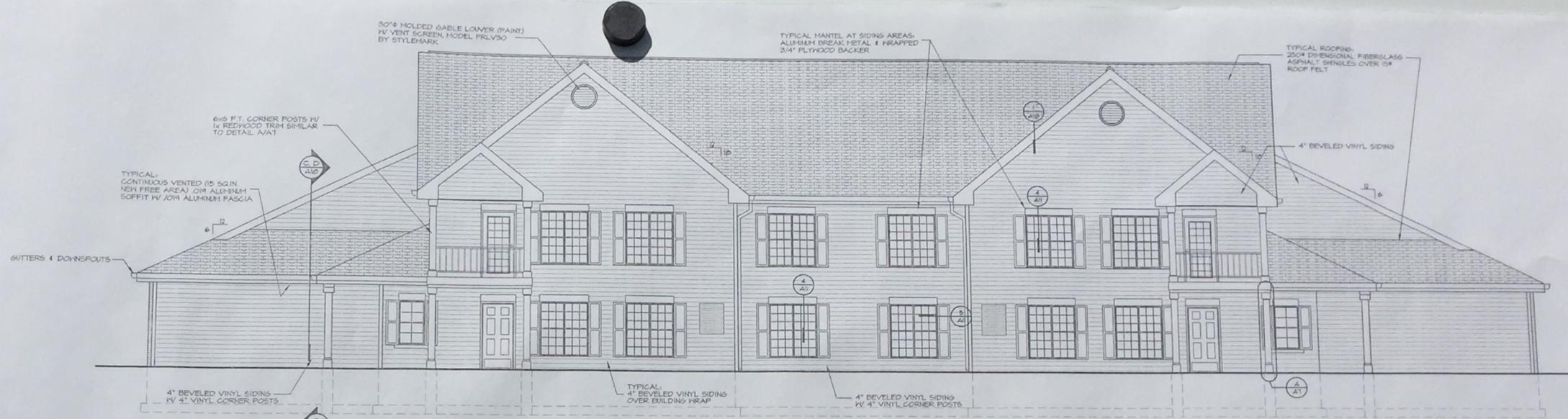
BUILDING 'A' - SIDE ELEVATION (FRONT)
3/16" = 1'-0"



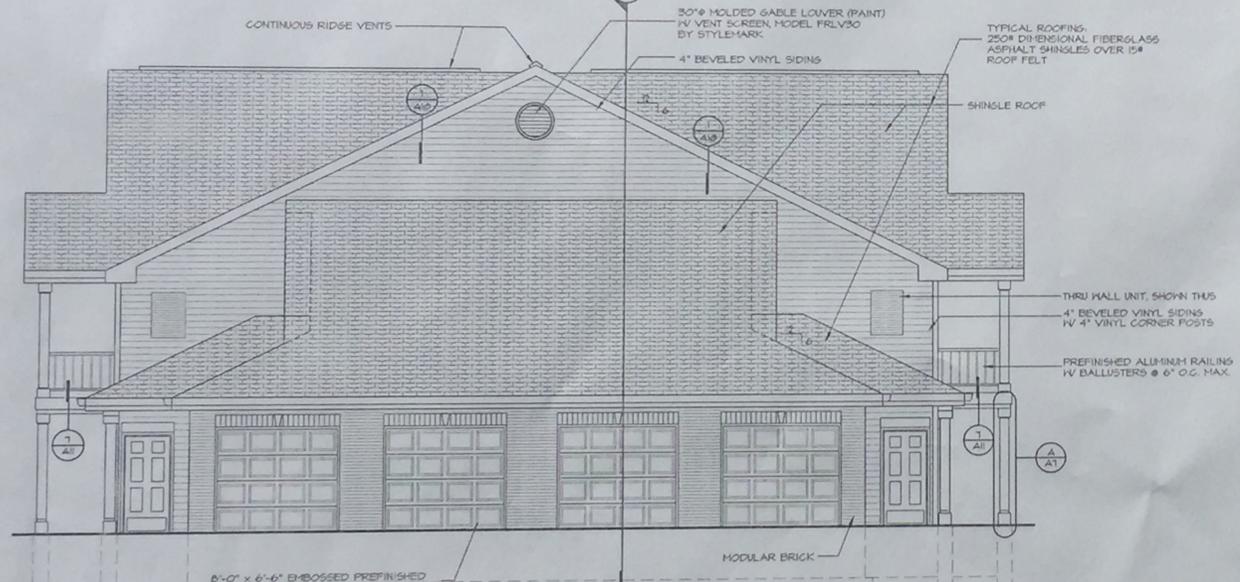
DECK COLUMN DETAIL
1/12" = 1'-0"

PROJECT: SUNSET DRIVE APARTMENTS
SUNSET DRIVE
MILTON, WISCONSIN
CLIENT: MIRKWOOD DEVELOPMENT, INC.

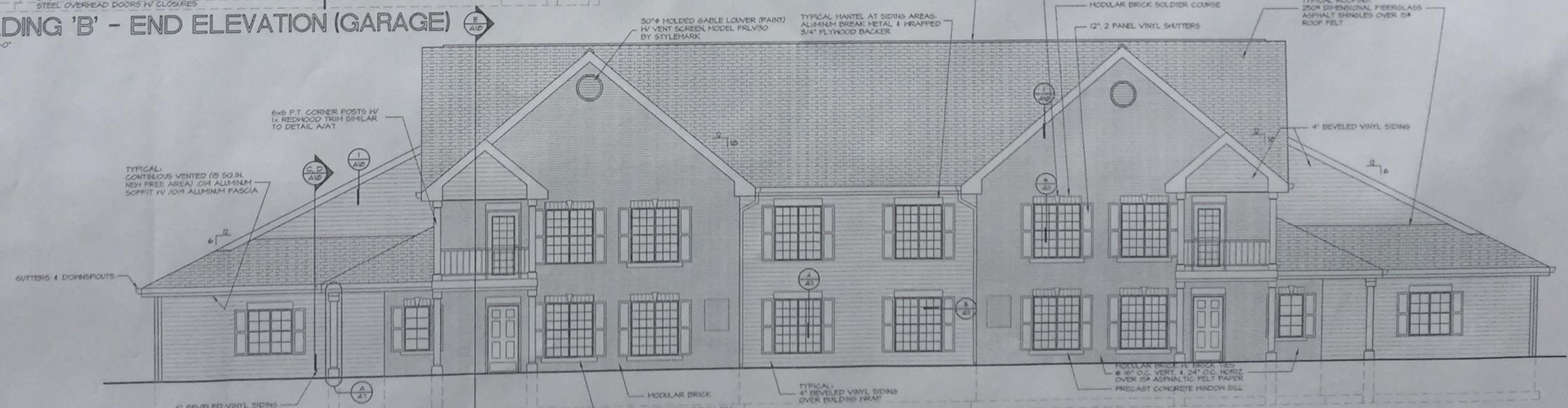
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PROJECT: 97
CAD FILE: A7-9
DRAWN BY:
DATE: 05/98



BUILDING 'B' - SIDE ELEVATION (REAR)
3/16" = 1'-0"



BUILDING 'B' - END ELEVATION (GARAGE)
3/16" = 1'-0"



BUILDING 'B' - SIDE ELEVATION (FRONT)
3/16" = 1'-0"

GARY BRINK & ASSOCIATES
ARCHITECTS

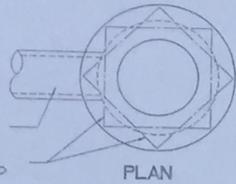
6506 SCHROEDER ROAD
MADISON, WI 53711
608-273-9636
608-273-3757 (FAX)

PROJECT: SUNSET DRIVE APARTMENTS
SUNSET DRIVE
MILTON, WISCONSIN
CLIENT: SUNSET DEVELOPMENT INC.

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PROJECT: A8-
CAD FILE: A8-
DRAWN BY: A8-
DATE: 05-

A8



OUTLET PIPE TO STORM SEWER AS SHOWN ON THE PLANS

3'-8" DIAMETER x 6" THICK CONCRETE TOP SLAB, REINFORCED WITH 8 - #5 BARS x 2'-6" LONG AROUND OPENING

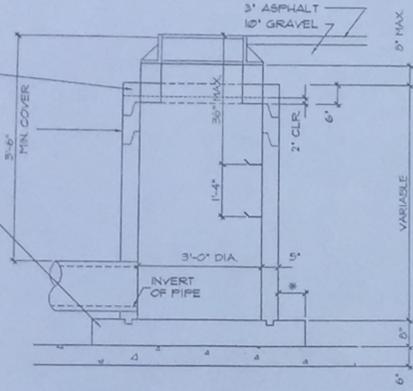
PRECAST REINFORCED CONCRETE TOP SLAB

PRECAST REINFORCED CONCRETE MANHOLE SECTION 36" DIAMETER ASTM C-478

PRECAST REINFORCED CONCRETE BOTTOM SECTION, 36" DIAMETER, ASTM C-478

CATCH BASIN FRAME TO BE NEENAH FOUNDRY CO. No. R-2500 WITH TYPE K NON-ROCKING LID, OR No. R-1726-A FRAME WITH TYPE B NON-ROCKING LID WITH 3 CONGEALED PICK-HOLES. USE WHICHEVER FRAME AND LID IS APPLICABLE

STEPS TO BE MA INDUSTRIES, NO. N0981-PF, OR EQUAL



SECTION

1 SANITARY MANHOLE DETAIL
S2 NO SCALE

MANHOLE - CATCH BASIN NOTES:

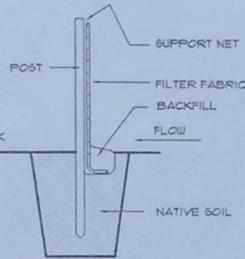
ADJUSTMENT RINGS SHALL BE PRECAST REINFORCED CONCRETE

ALL ADJUSTMENT RINGS AND CASTING TO BE SET IN FULL MORTAR BEDS ALL LIFT HOLES AND PIPE CONNECTIONS TO BE SEALED WITH HYDRAULIC CEMENT

COMPACTED SAND OR CRUSHED STONE UNDER BASIN STRUCTURE GRADATION No. 1 OR No. 2

* DIMENSION FOR POURED IN PLACE SHALL BE 0" MIN. DIMENSION FOR PRECAST BASE SHALL BE PER MANUFACTURER'S RECOMMENDATION UNLESS OTHERWISE SPECIFIED

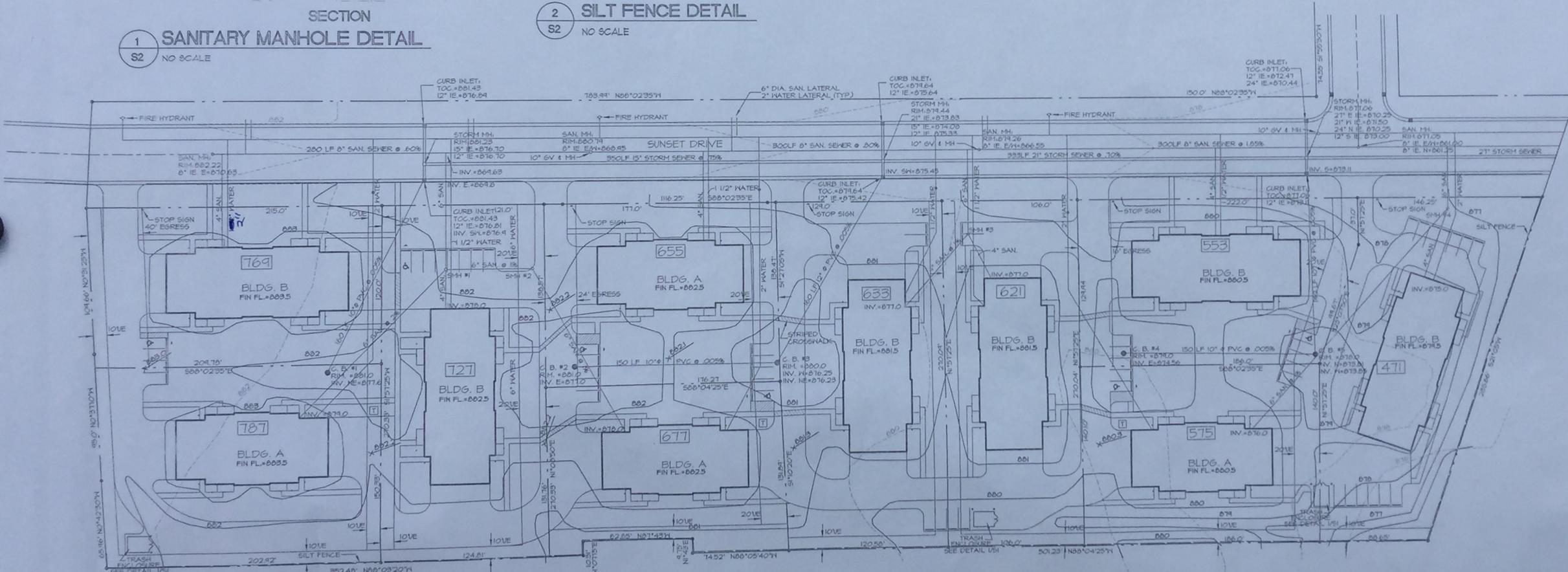
JOINT SEALER TO BE KENT-SEAL No. 2 OR EQUAL



NOTE: SILT FENCE SHALL BE INSTALLED BY EARTHWORK CONTRACTOR PRIOR TO ANY GRADING ACTIVITIES. ACCUMULATED SEDIMENT SHALL BE REMOVED AS NECESSARY TO KEEP FENCE FUNCTIONING PROPERLY.

INDICATED THIS ON THE DRAWING: (SOUTH 4 EAST LOT LINE)

2 SILT FENCE DETAIL
S2 NO SCALE



CATCH BASIN DRAINAGE DESIGN- USING TABLE D2.36.4

C.B. #1	C.B. #3	C.B. #5
AREA IMPERVIOUS: 423 GPM	AREA IMPERVIOUS: 359 GPM	AREA IMPERVIOUS: 240 GPM
SERVED PERVIOUS: 122 GPM	SERVED PERVIOUS: 121 GPM	SERVED PERVIOUS: 82 GPM
TOTAL: 545 GPM	TOTAL: 480 GPM	TOTAL: 322 GPM
10" x 12" PVC	12" x 12" PVC	10" x 12" PVC

SANITARY MAN-HOLE DATA

S2-S1 #1	S2-S1 #3
RIM = 801.0	RIM = 800.5
INV. SH = 816.0	INV. SH = 819.5
INV. E = 811.3	INV. SE = 816.0
INV. H = 819.5	INV. SH = 816.0
INV. N = 819.5	

KEY
□ TRANSFORMER

SITE GRADING, UTILITY, & EROSION CONTROL PLAN

1" = 40'-0"

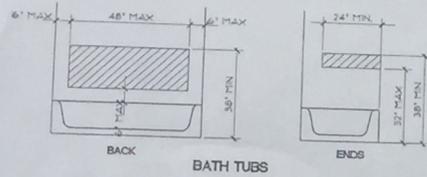


GARY BRINK & ASSOCIATES ARCHITECTS

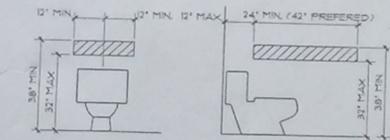
6506 SCHROEDER ROAD
MILTON, WI 53711
608-273-8636
608-273-3757 (FAX)

PROJECT: SUNSET DRIVE APARTMENTS
SUNSET DRIVE
MILTON, WISCONSIN
CLIENT: MIRKWOOD DEVELOPMENT, INC.
1907 NEWPORT AVENUE JANEVILLE, WISCONSIN 53545

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PROJECT: 9746
CAD FILE: S2-9746
DRAWN BY: TB
DATE: 05/28/98



BATH TUBS



WATER CLOSETS
GRAB BAR BLOCKING LOCATIONS
NO SCALE

TYPICAL UNIT NOTES

- ALL FIRST FLOOR UNITS TO BE HANDICAP ACCESSIBLE PER WISCONSIN ADMINISTRATION CODE - ILHR 6.5.
- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER CLIMATE CONTROLS SHALL BE NO HIGHER THAN 48" ABOVE FINISHED FLOOR AND NO LOWER THAN 15" ABOVE FINISHED FLOOR. THE MAXIMUM HEIGHT AT COUNTERTOPS IS 44" INCLUDING CIRCUIT BREAKER PANELS. FAN OR LIGHT CONTROLS OVER KITCHEN RANGES ARE NOT REQUIRED TO COMPLY.
- PROVIDE SOLID 2x6 BLOCKING (98" TO TOP, ABOVE FINISHED TOP OF TUB) INDICATED THIS ON PLANS.
- ALL BEDROOM CLOSETS TO HAVE TWO CLOTHES RODS AND TWO SHELVES FOR 50% OF CLOSET LENGTH AND ONE SHELF A ROD FOR BALANCE. ALL LINEN CLOSETS TO HAVE FOUR SHELVES FULL DEPTH OF CLOSET. ALL OTHER CLOSETS TO HAVE ONE ROD AND ONE SHELF. ALL LAUNDRY ROOMS TO HAVE TWO SHELVES ABOVE WASHER AND DRYER. IN BEDROOM CLOSETS WHERE DOUBLE SHELF AND ROD OCCUR, PROVIDE SHELVING WITH THE TOP SHELF MOUNTED AT 64" AFF. AND BOTTOM SHELF MOUNTED AT 44" AFF.
- WALLS AND CEILING OF ALL CLOSETS AT FIRST FLOOR UNITS UNDER STAIRS LEADING TO SECOND FLOOR UNITS TO HAVE TWO LAYERS OF 5/8" TYPE 'X' DRYWALL APPLIED TO 2x WOOD FRAMING AT STRINGERS AT 24" O.C.
- VERIFY ROUGH OPENINGS REQ'D AT TUB/SHOWER UNITS BEFORE CONSTRUCTING WALLS.

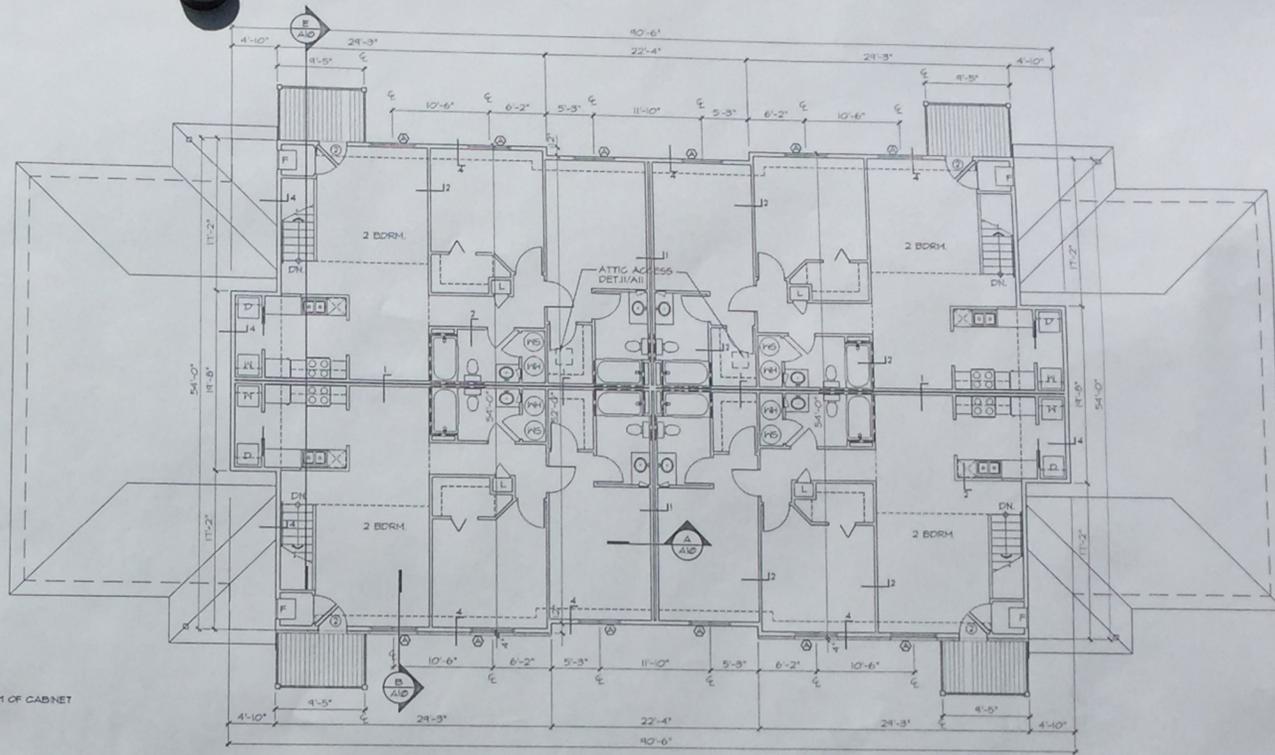
TYPICAL TOILET FIXTURES

- (A) MEDICINE CABINET • 48" AFF. TO BOTTOM OF CABINET
- (B) 24" TOILET BAR • 48" AFF.
- (C) 18" TOILET BAR • 48" AFF.
- (D) TOILET DISPENSER • 18" AFF.

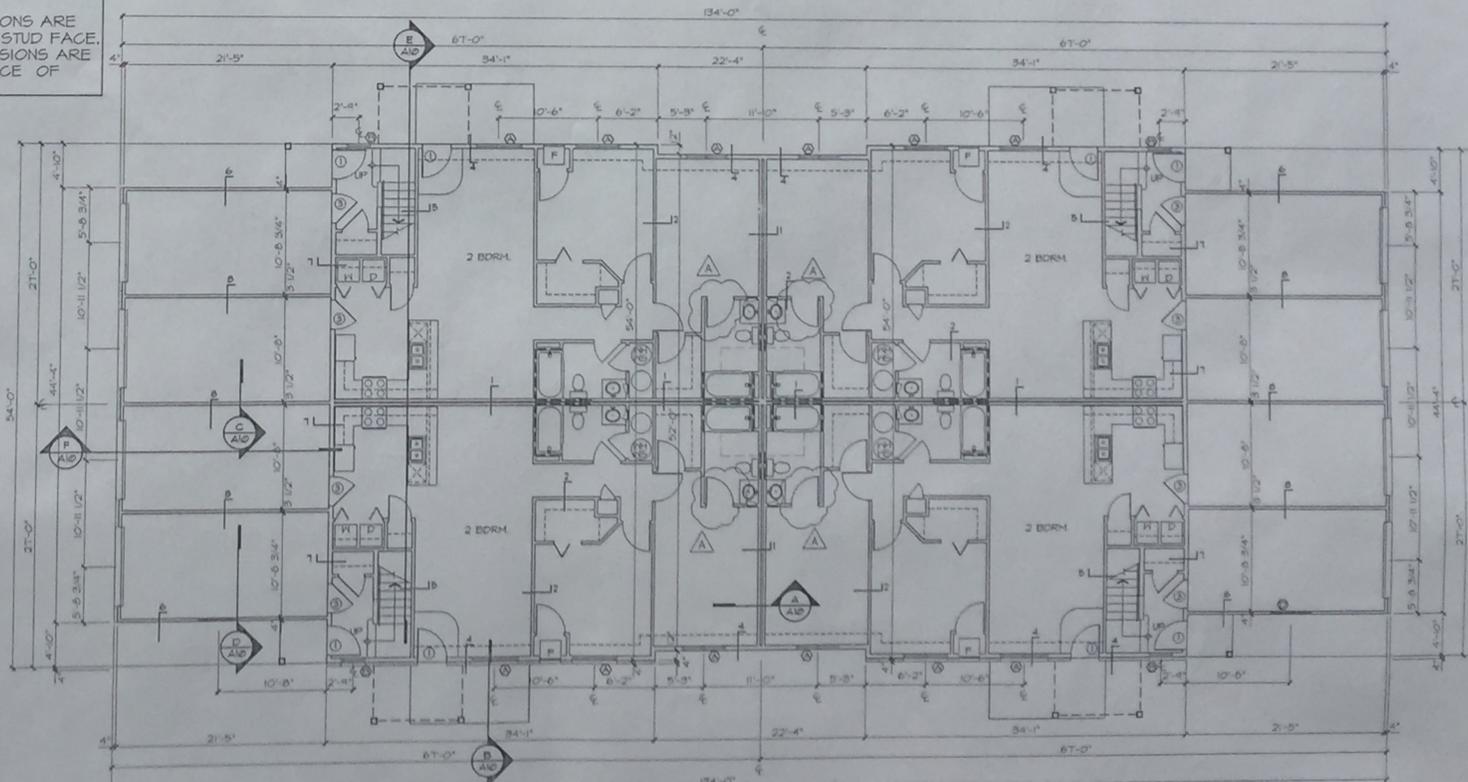
NOTE:
INSIDE DIMENSIONS ARE
STUD FACE TO STUD FACE.
OUTSIDE DIMENSIONS ARE
TO OUTSIDE FACE OF
SHEATHING.

NOTES:

- TYPICAL PARTY WALL:
DOUBLE 2x4 STUDWALL AT 16" O.C.
1" GAP BETWEEN WALLS - 5/8" DRYWALL
BOTH SIDES - 2 LAYERS 3/4" SOUND BATT
INSULATION IN CAVITY
- TYPICAL INTERIOR PARTITION:
2x4 STUDS • 16" O.C. W/ 1/2" DRYWALL BOTH SIDES.
- TYPICAL PLUMBING WALL:
2x6 STUDS • 16" O.C. W/ 5/8" DRYWALL BOTH SIDES
WHERE PLUMBING WALL IS ALSO PARTY WALL USE WALL TYPE 1
AND APPLY 5/8" TYPE 'X' GIB OVER ENTIRE WALL BEFORE SETTING
TUB MODULE - ADJUST WALL DIMENSIONS AS REQ'D AT TUB MODULES
(USED • STAIRWELL ONLY)
- 2x6 STUDS AT 16" O.C. W/ 6" BATT INSULATION AND 5/8" DRYWALL
ON UNIT SIDE • 1/4" OSB SHEATHING ON EXTERIOR SIDE
- SECONDARY PARTY WALL: 2x4 OR 2x6 STUDS • 16" O.C.
W/ 3/4" SOUND BATT • 5/8" DRYWALL BOTH SIDES.
(USED • STAIRWELL ONLY)
- TYPICAL EXTERIOR PARTITION • GARAGES:
2x4 STUDS • 16" O.C. W/ EXTERIOR SHEATHING ON 1 SIDE
AND 5/8" TYPE 'X' DRYWALL ON INTERIOR SIDE. FIRE TAPE ONLY.
- INTERIOR GARAGE WALL TO UNIT:
2x6 STUDS • 16" O.C. W/ R-13 BATT INSULATION • 5/8" TYPE 'X'
DRYWALL BOTH SIDES
- WALLS SEPARATING UNITS:
2x4 STUDS • 16" O.C. WITH 5/8" TYPE 'X' BOTH SIDES
FIRE TAPE ONLY



SECOND FLOOR PLAN - BUILDING 'B'
1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING 'B'
1/8" = 1'-0"



GARY BRINK & ASSOCIATES
ARCHITECTS

6506 SCHROEDER ROAD
MADISON, WI 53711
608-273-9636
608-273-3757 (FAX)

PROJECT:
SUNSET DRIVE APARTMENTS
SUNSET DRIVE
MILTON, WISCONSIN

CLIENT:
MIRKWOOD DEVELOPMENT, INC.
1507 NEWPORT AVENUE
JANESVILLE, WISCONSIN

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PROJECT: 9746
CAD FILE: A6-9746
DRAWN BY: TB
DATE: 05/15/98
REV: 06/10/98

PROJECT:

SUNSET DRIVE APARTMENTS

SUNSET DRIVE

MILTON, WISCONSIN



DEVELOPER:

MIRKWOOD DEVELOPMENT, INC.

1507 NEWPORT AVENUE
JANESVILLE, WISCONSIN 53545

PHONE: 608-559-8155
MOBILE: 608-251-2656
FAX: 608-755-8110

ARCHITECT:

GARY BRINK & ASSOCIATES, INC.

6506 SCHROEDER ROAD
MADISON, WISCONSIN 53711

PHONE: 608-273-9636
FAX: 608-273-3757
PRINCIPAL CONTACT: GARY BRINK

LEGAL: LOTS 33, 34 AND 35, "NORTHRIDGE"; LOT 4 AND PART OF LOT 3, BLOCK 3, "ROGERS ADDITION" AND PART OF VACATED DIVISION STREET, ALL BEING LOCATED IN THE NW 1/4 OF THE NE 1/4 OF SECTION 28, T.4N. R.13E. OF THE 4TH P.M., CITY OF MILTON, ROCK COUNTY, WISCONSIN. COMMENCING AT AN ALUMINUM MONUMENT AT THE NORTH 1/4 CORNER OF SAID SECTION 28; THENCE S.17°49'35"E. 531.84 FEET TO THE NW CORNER OF SAID LOT 35 (NORTHRIDGE), ALSO BEING AT THE PLACE OF BEGINNING FOR THE LAND TO BE HEREIN DESCRIBED; THENCE S.88°02'35"E. ALONG THE SOUTH LINE OF SUNSET DRIVE, 1116.25 FEET TO THE NE CORNER OF SAID LOT 33 (NORTHRIDGE); THENCE S.21°05'W. 285.66 FEET TO THE SE CORNER OF SAID LOT 33; THENCE N.88°04'25"W. 501.23 FEET TO THE SW CORNER OF SAID LOT 33; THENCE N.88°05'40"W. 74.52 FEET; THENCE N.1°43'E. 9.75 FEET; THENCE N.87°43'W. 82.85 FEET; THENCE S.1°07'15"E. 10.31 FEET TO THE SE CORNER OF SAID LOT 35; THENCE N.88°03'20"W. 352.48 FEET TO THE SW CORNER OF SAID LOT 35; THENCE N.0°42'30"W. ALONG THE WEST LINE OF SAID LOT, 65.96 FEET; THENCE N.0°37'10"W. CONTINUING ALONG SAID WEST LINE, 95.0 FEET; THENCE N.0°31'25"W. CONTINUING ALONG SAID WEST LINE, 109.66 FEET TO THE PLACE OF BEGINNING. CONTAINING 6.58 ACRES.

BUILDING DATA:
SQUARE FOOTAGE PER BUILDING

BUILDING "A"	
FIRST FLOOR	3,618 S.F.
SECOND FLOOR	4,348 S.F.
TOTAL	7,966 S.F.
GARAGES	1,900 S.F.

BUILDING "B"	
FIRST FLOOR	4,771 S.F.
SECOND FLOOR	4,442 S.F.
TOTAL	9,213 S.F.
GARAGES	1,900 S.F.

BUILDING TYPE: TYPE B, WOOD FRAME UNPROTECTED FOR BUILDINGS A & B

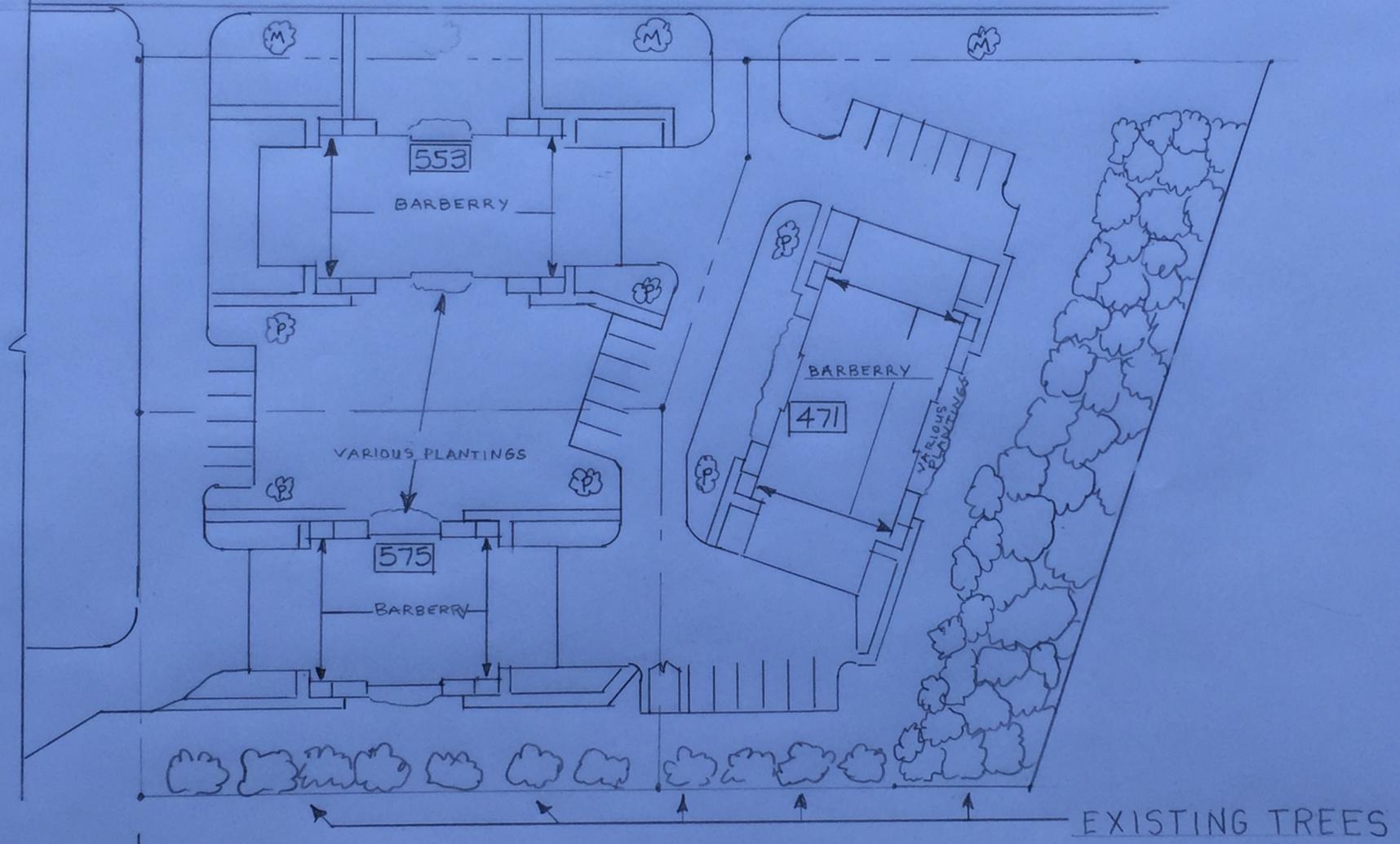
INDEX TO DRAWINGS:

- T TITLE SHEET
 - S1 SITE PLAN
 - S2 GRADING, UTILITY, & EROSION CONTROL PLAN SURVEY
 - L1 LANDSCAPE PLAN
 - A1 BUILDING A - FOUNDATION PLAN & DETAILS
 - A2 BUILDING B - FOUNDATION PLAN & DETAILS
 - A3 BUILDING A - SECOND FLOOR & ROOF FRAMING PLANS
 - A4 BUILDING B - SECOND FLOOR & ROOF FRAMING PLANS
 - A5 BUILDING A - 1/8" FLOOR PLANS & 1/4" UNIT PLANS
 - A5.1 BUILDING A - 1/4" UNIT PLANS
 - A6 BUILDING B - 1/8" FLOOR PLANS
 - A6.1 BUILDING B - 1/4" UNIT PLANS
 - A7 BUILDING A - EXTERIOR BUILDING ELEVATIONS
 - A8 BUILDING B - EXTERIOR BUILDING ELEVATIONS
 - A9 BUILDING A - SECTIONS & DETAILS
 - A10 BUILDING B - SECTIONS & DETAILS
 - A11 DETAILS
 - A12 DOOR & WINDOW SCHEDULE, ROOM FIN. SCHEDULE, AND DOOR HARDWARE SCHEDULE
 - E1 BUILDING A & B UNIT ELECTRICAL PLANS
-
- P 1 Plumbing - Floor Plan - D.W. & V.
 - P 1 - A Plumbing - Floor Plan - Water
 - P 1 - B Plumbing - Typical Water Piping
 - P 2 Plumbing - D.W. & V. Isometric

Michael A. Johnson MP6449 7/24/98

EXISTING ← PROPOSED

SUNSET DRIVE



EXISTING ← PROPOSED

P = PLUM, NEWPORT

M = MAPLE, SUGAR

LANDSCAPE PLAN SUNSET DRIVE APTS.		
SCALE: 1" = 40'	APPROVED BY:	DRAWN BY:
DATE: 6-30-16		REVISED:
		DRAWING NUMBER:

NORTHRIDGE FIRST ADDITION

LOTS 33, 34 AND 35, "NORTHRIDGE"; LOT 4 AND PART OF LOT 3, BLOCK 3, "ROGERS ADDITION" AND PART OF VACATED DIVISION STREET, ALL BEING LOCATED IN THE NW 1/4 OF THE NE 1/4 OF SECTION 28, T.4N., R.13E. OF THE 4TH P.M., CITY OF MILTON, ROCK COUNTY, WISCONSIN.

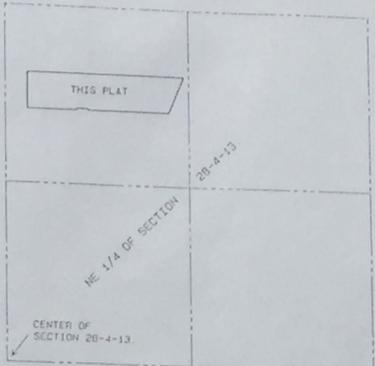
NORTH 1/4 CORNER OF SECTION 28-4-13 (3" ROUND ALUMINUM MONUMENT)

NE CORNER OF SECTION 28-4-13 (3" ROUND ALUMINUM MONUMENT)

287°53'35"E
2626.61'

NORTH LINE OF THE NE 1/4 OF SECTION 28-4-13

LOCATION MAP

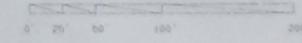


LEGEND:

- SET ROUND IRON ROD, 1-1/4" x 30" WEIGHING 4.17 LBS./LIN. FT.
 - FOUND 1-1/4" ROUND IRON ROD
 - FOUND 3/4" ROUND IRON REBAR
 - FOUND 1" ROUND IRON PIPE
- ALL OTHER LOT CORNERS ARE STAKED WITH 3/4" x 24" ROUND IRON REBAR, WEIGHING 1.50 LBS./LIN. FT.
- ✓ UTILITY EASEMENT



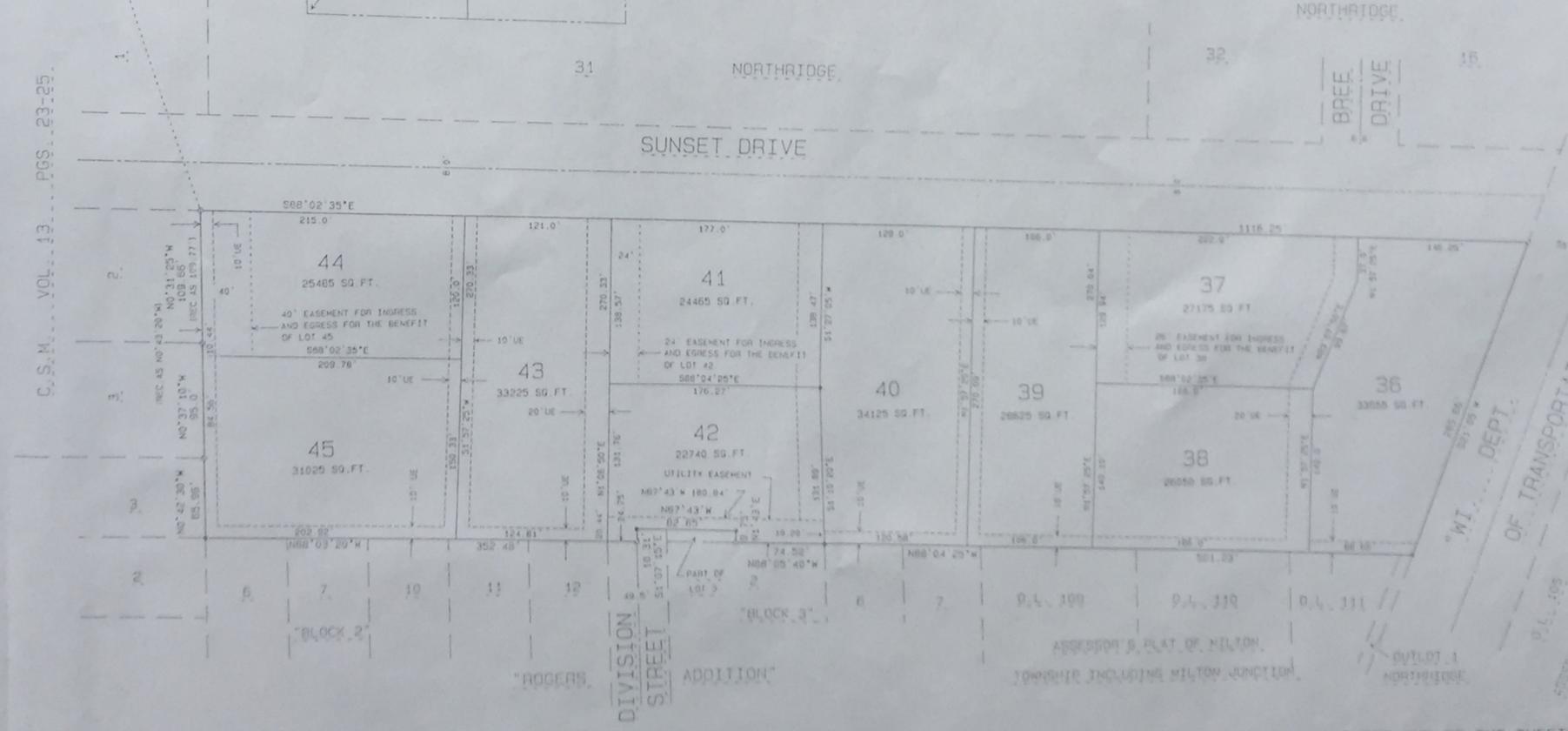
SCALE: 1"=60'



NOTE: BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NE 1/4 OF SECTION 28-4-13. HAVING AN ASSUMED BEARING OF 587°53'35"E.

NOTE: "NORTHRIDGE FIRST ADDITION" CREATES 10 LOTS FROM A TOTAL OF 6.58 ACRES.
 NOTE: ALL LINEAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE HUNDREDTH OF A FOOT. ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST FIVE SECONDS AND COMPUTED TO THE NEAREST ONE-HALF SECOND.
 NOTE: UTILITY EASEMENTS AS SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE PUBLIC UTILITIES HAVING RIGHTS TO SERVE THE PLATTED AREA.

C.S.M. VOL. 13 PGS. 23-25.



1 of 2



FEATURES & SPECIFICATIONS

INTENDED USE

For entrances, stairwells, corridors, other pedestrian areas.

CONSTRUCTION

Cast aluminum backplate on which electrical components are mounted for maximum heat-dissipation. Gasketing between backplate and front cover prevents the entry of water and contaminants. External hardware includes phillips head and tamper-proof hex-head fasteners.

FINISH

Dark bronze (DDB) or white (DWH) front cover available for all wattages.

OPTICAL SYSTEM

Front cover/refractor is injection-molded, one-piece, UV-stabilized polycarbonate. Optical system is sealed and gasketed to inhibit entrance of outside contaminants.

ELECTRICAL SYSTEM

35W-70W HPS and 50W MH use 120V normal power factor.

Porcelain, medium-base socket with copper alloy nickel-plated screw shell and center contact. UL listed 660W, 600V, 4KV pulse rated. Medium-base lamp included with the fixture.

INSTALLATION

Units are for wall mounting and include two 3/4" knockouts for routing electrical conduit.

LISTING

UL listed for wet locations. Listed and labeled to comply with Canadian Standards.

Catalog Number	
Notes	Type

Small Polycarbonate Wall Pack

TWS

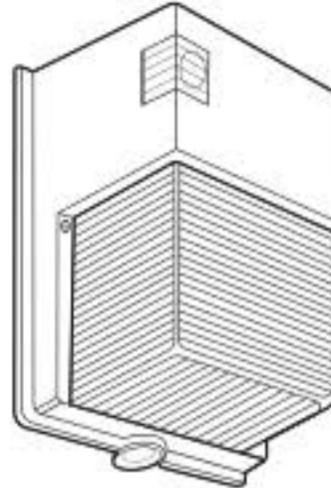
METAL HALIDE

50W

HIGH PRESSURE SODIUM

35W, 50W, 70W

8' to 12' Mounting



Specifications

Height: 11" (27.9cm)
 Width: 6-1/2" (16.5cm)
 Depth: 5-1/4" (13.3cm)
 Weight: 4.9 lbs./2.2 kgs

ORDERING INFORMATION

For shortest lead times, configure product using **standard options (shown in bold)**.

Example: TWS 50M 120 PE LPI

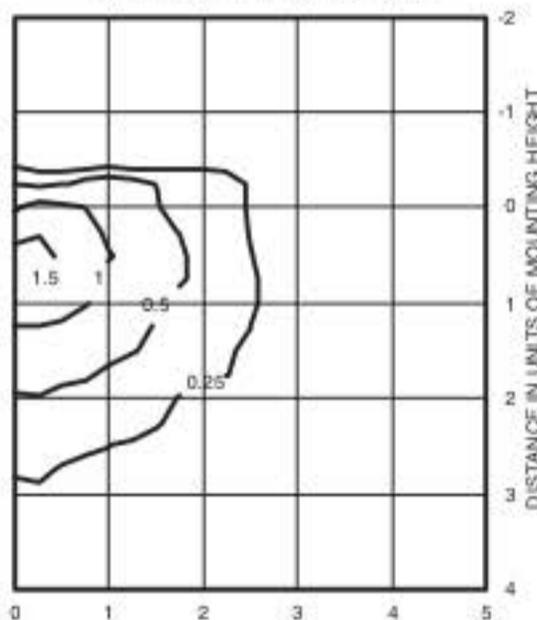
TWS		120	
Series	Wattage/lamp	Voltage	Options
TWS	Metal halide 50M High pressure sodium 35S 50S 70S	120	Shipped installed in fixture PE Photoelectric cell as standard LPI Lamp included as standard Architectural colors (optional) (blank) Dark bronze DWH White

Accessories

Order as separate catalog numbers
 RK1 PEB1 Photocell kit (120V only)
 TWSWG Wireguard

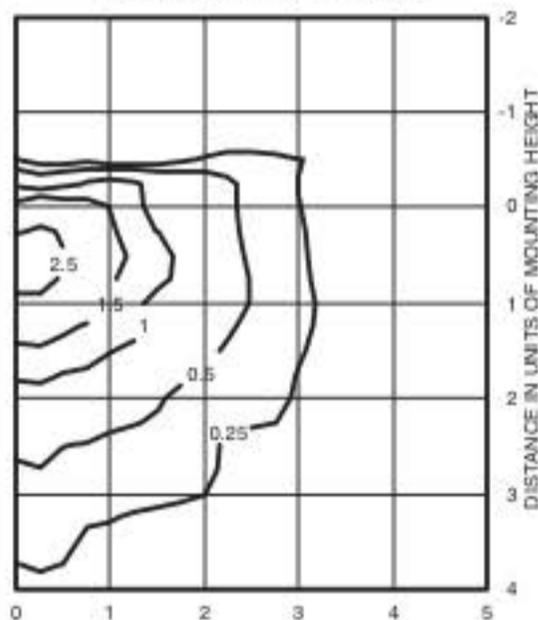
TWS High Pressure Sodium Wall Pack

TWS 35S TEST NO: LTL12508
ISOILLUMINANCE PLOT (Footcandle)



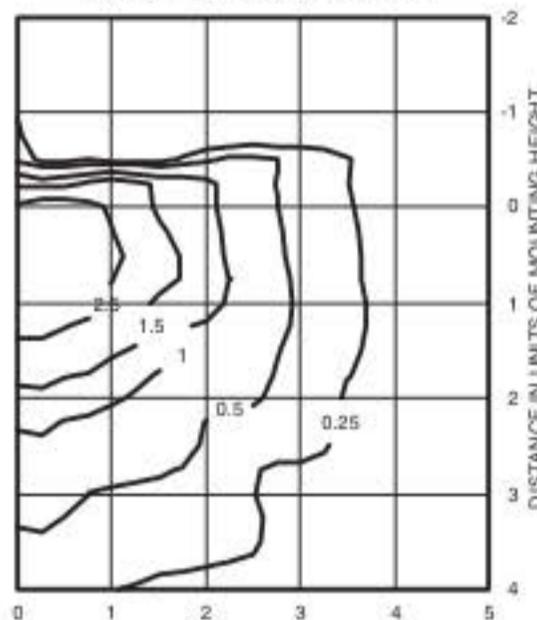
Luminaire Efficiency: 65.6%
35W high pressure sodium lamp
Footcandle values based on 8' mounting height, 2250 rated lumens.

TWS 50S TEST NO: LTL12306
ISOILLUMINANCE PLOT (Footcandle)



Luminaire Efficiency: 65.6%
50W high pressure sodium lamp
Footcandle values based on 8' mounting height, 4000 rated lumens.

TWS 70S TEST NO: LTL12509
ISOILLUMINANCE PLOT (Footcandle)



Luminaire Efficiency: 65.6%
70W high pressure sodium lamp
Footcandle values based on 8' mounting height, 6300 rated lumens.

Mounting Height Correction Factor

(Multiply the fc level by the correction factor)

10 ft. = .64
12 ft. = .44

City of Milton Plan Commission Application for plan Approval

June 30, 2016

Sec. 78-272 Application to Build 3 8-unit apartment buildings at 553, 575 and 471 West Sunset Drive in Milton Wisconsin.

1. Parcel dimensions can be found on pages S1 and the survey page of plan set.
2. Existing and proposed structures can be found on page S1 of plan set. Existing structures are 769, 787, 727, 655, 633 and 621 Sunset drive. Proposed structures are 553, 575 and 471 Sunset drive. These structures are 8 unit apartment buildings. The proposed use will be residential rental units.
3. Building walls, fenced trash enclosure, open spaces can be found on page S1 of plan set. Plantings are included on the "Landscape" page. (Last page of plan set.)
4. Off street parking is shown on page S1 of plan set. Note: Each apartment has one parking space in the attached garage and one parking space in front of its garage along with visitor parking as shown.
5. Points of ingress and egress are shown on page S1 of plan set. All required access points have been previously approved and curb cuts have already been made.
6. Off-street loading exceeds the required 25' that section 78-1263 requires. See page S1 of plan set.
7. Trash Containers are shown on page S1 of the plan set. Note: A detailed drawing of the trash enclosure is on the top half of page S1 of the plan set.
8. No permanent signs are planned to be installed on the three proposed building sites at this time.
9. Lighting:

There is one wall mounted light fixture shown at the center of each garage on page S1 of the plan set. This fixture is a "down light" designed to provide a "soft" light around the garage areas of each building. The fixture schedule on page S1 calls for a 70 watt MH bulb to be used in this fixture. Currently 50 watt MH bulbs are being used in this fixture on the existing buildings. There are two pole mounted post lights shown on page S1 by the visitor parking areas of the proposed three 8 units on lots 36, 37 and 38. The plan also calls for 1 post light in the guest parking areas. No photometric plan is available for this fixture. We invite any plan commission member that has a concern about the lighting to drive by the existing buildings on Sunset Drive and see firsthand that our lighting is not excessive or a problem for our neighbors.
10. Street and Sidewalk improvements:

The site plan (page S1) shows all proposed sidewalks. No street improvements are needed or proposed.

11. Grading and drainage: Page S2 shows the “topographic” lines pre and post construction. This site is essentially flat. Less than 2% grade variation. There is a “storm drain” shown in the parking lot between the buildings on Page S2 of the plan set.
12. Additional Data: None has been requested by the City of Milton.
13. All architectural Drawings including elevations of the proposed buildings are included in the plan set.
14. Erosion Control: The erosion control plan is shown on page S2 of the plan set. (Silt fence along the east and south border of lot 36 as required where grade exceeds 2 %.)
15. Weed control plan: We are sensitive to all existing tenants residing at the Sunset Drive apartments as well as all our neighbors. Our plan is to keep the weeds mowed during the construction of these three proposed buildings.
16. This is not applicable. (Not a “B” zoning.)