



AGENDA
City of Milton
Plan Commission
Wednesday, April 6, 2016
5:00 pm
MILTON CITY HALL
Council Chambers, 710 S. Janesville Street

1. Call to Order

2. Approval of Agenda

3. Approval of Plan Commission Minutes – March 15, 2016.

Documents: [03-15-2016 Plan Commission Minutes.pdf](#)

4. Public Hearing and Discussion and Possible Action to Consider a Request from Parker Community Credit Union for a Conditional Use Permit to Allow a Variable Message Sign and Illuminated Sign at 110 Parkview Drive.

Documents: [Memo - Conditional Use Permit - 110 Parkview Dr.pdf](#), [CUP Application for 110 Parkview Dr.pdf](#), [Findings of Fact - 110 Parkview Dr.pdf](#), [PCCU Present Signs.pdf](#), [PCCU Proposed Sign.pdf](#), [PCCU Site Plan for Variable Message Sign.pdf](#), [Variance Application for 110 Parkview Dr.pdf](#)

5. Public Hearing and Discussion and Possible Action to Consider a Request from CharterNEX for a Site Plan Review and Conditional Use Permit to Allow a Building Over 40' Tall at 1264 E. High St.

Documents: [Memo - Conditional Use Permit - 1264 E High Street.pdf](#), [1264 E High St - CUP Application.pdf](#), [1264 E High St - CUP Findings of Fact.pdf](#), [2016-01-29 CHARTER NEX 2016 TOWER 24x36.pdf](#), [2016-02-29 CHARTER NEX 2016 TOWER SITE.pdf](#), [2016-03-04 CHARTER NEX SOUTH ELEVATION 24x36.pdf](#)

6. Discussion and Possible Action on Updated School Parking Lot Plan.

Documents: [Memo - Updated School Parking Lot Plan.pdf](#), [School Parking Lot Site Plan.pdf](#)

7. Discussion and Possible Action on a Site Plan Review for a Concession Stand at South Goodrich Park.

Documents: [Memo - S. Goodrich Park Concession Stand.pdf](#), [Potential Concession Stand Photos.pdf](#)

8. General Items

9. Next Meeting Date – May 17, 2016 at 5:00 p.m.

10. Motion to Adjourn

**Please note that upon reasonable notice, at least 48 hours in advance, efforts will be made to

accommodate the needs to disabled individuals through appropriate aids and services. For additional information to request this service, please contact the City Clerk's office at 868-6900, 710 S. Janesville Street, Milton, WI 53563.

**Notice is hereby given that a majority of the Common Council may be present at this meeting at the above mentioned date and time to gather information about a subject over which they have decision-making responsibility. This constitutes a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis. 2d 553, 494 N.W. 2d 408 (1993) and must be noticed as such, although the City Council will not take any formal action at this meeting.

City of Milton
Plan Commission Minutes

3/15/2016 - Minutes

1. Call to Order

Mayor Welch called the March 15, 2016 meeting of the Plan Commission to order at 5:00 p.m. Clerk Hilby confirmed the appropriate meeting notices were posted.

Present: Mayor Anissa Welch, Director of Public Works Howard Robinson, Ald. Nancy Lader, Comm. Ethel Himmel, Comm. David Ostrowski, Comm. Frank Green, and Comm. Bob Seales.

Also Present: City Administrator Al Hulick and City Clerk/Deputy Treasurer Elena Hilby.

2. Approval of Agenda

Comm. Ostrowski moved to approve the agenda. Ald. Lader seconded, and the motion carried.

3. Approval of Minutes - Plan Commission Minutes – February 17, 2016.

Comm. Ostrowski moved to approve the minutes. Comm. Himmel seconded, and the motion carried.

4. Discussion and Possible Action on Site Plan Review for Flying Pig and Wisconsin Wrought Iron Signs at 34 Merchant Row.

DPW Director Robinson reviewed the site plan with the commission and verified that the letters will be iron. Comm. Himmel moved to approve the site plan as presented for Wisconsin Wrought Iron. Ald. Lader seconded, and the motion carried unanimously.

5. Discussion and Possible Action Regarding a Site Plan Review for the Milton East Parking Lot Reconfiguration.

Comm. Himmel moved to approve the site plan contingent on submission of the 5 items to staff to comply with ordinance requirements. Comm. Seales seconded, and the motion carried with Comm. Ostrowski and Ald. Lader in opposition.

6. Discussion and Possible Action Regarding the Transfer of Land Located at 120 Parkview Drive to the School District of Milton.

DPW Director Robinson moved to find this transfer of land consistent with established City plans. Comm. Seales seconded, and the motion carried with Comm. Ostrowski in opposition.

7. AMENDED Discussion and Possible Action Regarding a Site Plan Review for 507 Vernal Ave Door Addition.

Comm. Himmel moved to approve the site plan as presented for 507 Vernal Avenue. Ald. Lader seconded, and the motion carried unanimously.

8. Discussion and Possible Action Regarding a Change in Plan Commission Meeting Dates.

The commission members discussed the possibility of meeting twice per month on the 1st and 3rd Tuesday instead of monthly on the 1st Tuesday following the first Common Council meeting of the month. Commission members wanted to wait to see what the Policy Ad Hoc Committee suggests.

9. General Items

The city is working on the issue of temporary signs that are in violation of city ordinances.

10. Next Meeting Date – Wednesday, April 6, 2016 at 6:00 p.m.

The next meeting will be on Wednesday, April 6, 2016 at 5:00 p.m.

11. Motion to Adjourn

Comm. Ostrowski moved to adjourn the March 15, 2016 meeting of the Plan Commission at 6:03 p.m.
DPW Director Robinson seconded, and the motion carried.

Respectfully submitted,
Elena Hilby
City Clerk

Office of the Director of Public Works

To: City of Milton Plan Commission, Mayor Anissa Welch, and Common Council Members
From: Howard Robinson, Director of Public Works
Date: 04/06/2016
Subject: Public Hearing and Discussion and Possible Action to Consider a Request from Parker Community Credit Union for a Conditional Use Permit to Allow a Variable Message Sign and Illuminated Sign at 110 Parkview Drive.

Discussion

Parker Community Credit Union (PCCU) has submitted a conditional use permit request and a site plan review to allow them to construct a variable message sign on the S. Janesville St. or east side of their property and also allow them to have an illuminated sign on the south side of their building. Since the variable message sign is within 300 feet of residential zoned property a conditional use permit is required.

Presently, they have a variance to allow the number of signs they have. They would be over the allowable number of signs for a B-3 zoned property and also for the square footage allowed in a B-3 zoned property. They have applied for a variance for the new signs. A copy of the variance request is included.

The Plan Commission can grant the conditional use permit with a contingency that they receive a variance to install the signs. The signs meet site plan requirements for our ordinances with a variance. The DOT also has regulations in addition to our ordinances. They can also be included as a requirement.

PCCU has indicated they will remove the existing monument sign on S. Janesville St. and the illuminated ATM sign if Plan Commission desires.

Staff Recommendation

I would recommend approval of the conditional use permit with a contingency that a variance is granted and DOT regulations are followed in addition to City ordinances. Plan Commission can add the requirement to remove the monument sign and ATM sign if desired.

Attachments

- CUP Application
- Findings of Fact
- Picture of Sign
- Site Plan



- Variance Application
- Correspondence from the Wisconsin DOT



City of Milton Application and Record Conditional Use Permit - Signage

Application Date: 2-19-2016 Date to be Reviewed by Plan Commission: _____
 Applicant Name/Agent: Parker Community Credit Union Date to be Reviewed by Common Council: _____
 Owner of Property: Parker Comm. Credit Union
 Business Name: Parker Comm. Credit Union
 Address: 2652 N. Lexington Dr
 City/State/Zip: Janesville, WI 53545
 Telephone: 608-314-1773
 Email: rmiller@pccu.org
 Reason for Request/Appeal or Reason Permit was Refused: _____

Type of Sign Requested: (check all that apply)

Variable Message Sign	Pylon	Marquee
Monument	Illuminated	Freestanding
Off-Premise Directional	Community Information	

Property Location for Project

Address: 110 Parkview Drive V-23-1058 Tax ID: 257 114003

Description of Premise (Including Existing and Proposed Buildings): _____

Current Zoning: A1 A2 B1 B2 B3 M1 M2 MR PUD Proposed Zoning: A1 A2 B1 B2 B3 M1 M2 MR PUD

Present Use: Bank Present Occupancy: Parker Comm Credit Union

Property Lot Size: _____ (square feet or acres)

**All ordinance setbacks must be met and proposed signage cannot be located in a vision triangle.

The undersigned hereby agrees that the foregoing information is true and accurate, and that if this permit or request is granted, all work will be done in accordance with this application and all the Ordinances of the City of Milton.

Applicant Signature: Ryan A. Miller

Print Name: Ryan A. Miller, CEO

Recommendations by Director of Public Works: _____

Filed this 1st day of March, 2016

Director of Public Works / Building Inspector, Howard Robinson
 City Clerk, Michelle Ebbert

Publication Date: 3-3-2016

**CITY OF MILTON
PLAN COMMISSION - SIGNAGE**

Conditional Use Permit Finding of Fact

Applicant Name: Parker Community Credit Union (circle one) Property Owner Tenant

Property Address: 110 Parkview Dr Please note: if applicant is Tenant of said property, written authorization for this Conditional Use Permit request must be submitted as an attachment.

Conditional Use Permit Request: _____

Applicable Ordinance Section: 78-1933 Zoning of Property: B-3

Plan Commission Public Hearing Date: 3-15-16

Please note: Attendance at the Plan Commission public hearing is required in the case of additional questions or submission of additional findings that pertain to the Conditional Use Permit request.

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This Findings of Fact is intended to document compliance with the provisions of Sec. 78-91(b), which states that:

Prior to approval or denial by the common council, the plan commission shall review the applicable facts pertaining to the proposed conditional use as found in this division and shall recommend approval or denial of the conditional use after public hearing and consideration of the purpose and intent of the district, the purpose and intent of this chapter, the standards applicable to conditional uses in this division, the standards for evaluating conditional uses enumerated in division 6 of this article, and the performance standards enumerated in division 2, article IV of this chapter.

The Plan Commission has considered the standards described below in light of the evidence and testimony presented by the applicant and the public regarding the CUP request. If these Conditional use Permit Findings of Fact are approved by the Plan Commission, they shall be incorporated into its decision to recommend approval or denial of the CUP application, including any changes adopted by the Commission.

A Conditional Use Permit can only be issued for requests in the following zoning districts:

A – Agricultural B – Business M – Manufacturing PUD – Planned Unit Development

Type of Sign Requested: (check all that apply)					
Variable Message Sign	<u>Pylon</u>	Marquee	Monument	Illuminated	Freestanding
Off-Premise Directional	Community Information				

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I. THE PURPOSE AND INTENT OF THIS CHAPTER.

Pursuant to sec. 78-3, the purpose of Chapter 78 is to:

- a. Promote the comfort, health, safety, morals, prosperity, aesthetics and general welfare of this community;
- b. Regulate and restrict the use of all lands and waters;
- c. Regulate and restrict the height, number of stories and size of buildings and other structures, the percentage of lot that may be occupied, the size of yards, courts and other open spaces, the density of population, and the location and use of buildings, structures and land for trade, industry, residence or other purposes;
- d. Further the appropriate use of land and conservation of natural resources;
- e. Stabilize and protect property values;
- f. Preserve and promote the beauty of the community;
- g. Preserve productive and historic agricultural soils; and
- h. Implement the community's master plan or plan components.

Findings:

- Not Applicable for the Proposed Use*
- Compliance with this Section Shall be Demonstrated with Site Plan Submittal*

Comments: _____

II. THE STANDARDS APPLICABLE TO CONDITIONAL USES IN THIS DIVISION.

These standards are described in sec. 78-93 as follows:

- a. The location, nature and size of the proposed use.
- b. The size of the site in relation to it.
- c. The location of the site with respect to existing or future roads giving access to it.
- d. Its compatibility with existing uses on land adjacent thereto.
- e. Its harmony with the future development of the district.
- f. Existing topography, drainage, soils types, and vegetative cover.
- g. Its relationship to the public interest, the purpose and intent of Chapter 78 and substantial justice to all parties concerned

Findings:

- Not Applicable for the Proposed Use*
- Compliance with this Section Shall be Demonstrated with Site Plan Submittal*

Comments: _____

III. THE STANDARDS FOR EVALUATING CONDITIONAL USES ENUMERATED IN DIVISION 6 OF THIS ARTICLE.

Division 6 of Article II contains sections 78-181 through 78-187.

a. Sec. 78-182. Site design and physical characteristics.

Site design and physical characteristics to be considered are as follows:

- (1) Existing topography, drainage patterns and vegetative cover and the suitability of the proposed use in this regard.
- (2) Availability of water, sewer, rail and other services and the utility requirements of the proposed site.
- (3) Where public sewers are not available, the percolation characteristics of the soil.
- (4) Adequacy of the proposed internal circulation system, including safety consideration.
- (5) Access to sites from the internal circulation system.
- (6) The costs of providing various public services.
- (7) Appearance--how the area will look.

b. Sec. 78-183. Site location relative to the public road network.

Site location considerations relative to the public road network shall be as follows:

- (1) Convenient access to a public road network--safety of access points.
- (2) Visibility from the proposed road and the need for visibility.
- (3) Location to provide access primarily by righthand turning movements.

c. Sec. 78-184. Land use.

Land use considerations include the following:

- (1) Compatibility with existing or proposed uses and population density in the area.
- (2) Relation to any existing or proposed development at nearby interchanges.
- (3) Relation to recommendations in existing land use or comprehensive plans.

d. Sec. 78-185. Traffic generation. NOT APPLICABLE

Traffic generation considerations shall be as follows:

- (1) *Amount of daily and peak-hour traffic to be generated, related to site size; traffic to be subclassified as to arterial, collector and local streets.*
- (2) *Amount of traffic generated relative to existing and anticipated ultimate generated traffic in the area.*
- (3) *Expected composition of site-generated traffic by vehicle types.*
- (4) *Effect of site-generated traffic on the operation of the area.*
- (5) *Safety and convenience to future users.*

e. Sec. 78-186. Community effects.

Community effects to be considered shall be as follows:

- (1) Immediate and long range tax base.

- (2) Access to market and service area.
- (3) Relation to scenic or recreation values.
- (4) Relation to the public interest, the purpose and intent of this chapter and substantial justice to all parties concerned.
- (5) Compliance with the comprehensive (master) plan's goals and objectives.
- (6) Relation of the project density to population density in the surrounding area.

f. Sec. 78-187. Other relevant factors.

Other relevant factors are as follows:

- (1) The performance standards in division 2, article IV of this chapter. See Section V of these Conclusions and Findings of Fact.
- (2) Additional impacts.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: _____

Subdivision III. Outdoor Lighting Standards

r. Sec. 78-1111. Purpose.

The purpose of this subdivision is to provide for adequate and safe lighting of private property, while limiting light spillover and glare onto adjacent properties and public streets. Such limitations are intended to prevent the creation of nuisances, promote traffic safety, conserve energy, preserve the area's dark sky, and support astronomy activities.

s. Sec. 78-1112. Applicability of subdivision provisions.

This subdivision shall be applied to the installation of all new and replacement private outdoor lighting fixtures. Outdoor lighting fixtures legally installed prior to the effective date of the ordinance from which this subdivision is derived shall not be required to comply with these outdoor lighting standards; however, any replacement of such lighting fixtures shall comply with all outdoor lighting standards as set forth in this subdivision.

t. Sec. 78-1113. Required lighting plan.

Where a development requires site plan review under division 8, article II of this chapter, all outdoor lighting fixtures shall be depicted and described on the required site plan or on a separate lighting plan. Depending on the complexity of the proposal or projected impact of lighting, the city may also require the following information:

- (1) A catalog page, cut sheet, or photograph of the outdoor lighting fixtures, including the mounting method and light cutoff angles.

(2) A photometric plot plan, drawn to the same scale as the site plan, and indicating the location of all lighting fixtures proposed, mounting and/or installation height in feet, the average illumination level (in footcandles) within the parking lot, and illumination levels at regular intervals around the site and at property lines.

u. Sec. 78-1114. Maximum luminaire height.

The maximum permitted luminaire height shall be 35 feet in all nonresidential zoning districts, and 25 feet in all residential districts. The height of both the pole and base shall be considered in the measurement of luminaire height. In no instance shall an outdoor lighting fixture in a nonresidential zoning district be mounted or oriented such that the lighting element is visible from a property in a residential district.

v. Sec. 78-1115. Maximum illumination levels.

Average illumination levels within parking lots shall not exceed one footcandle within residential districts, and three footcandles within all other districts. The illumination level at any property line shall not exceed 0.5 footcandles above the ambient lighting conditions on a cloudless night where the property adjoins land in a residential district, and two footcandles above the ambient lighting conditions on a cloudless night where the property adjoins land in any other zoning district. The plan commission may agree to allow greater lighting levels based on specific and reasonable written justification provided by the applicant, provided that the purpose of this subdivision is not compromised.

w. Sec. 78-1116. Use of shielded light fixtures.

All outdoor lighting fixtures shall be shielded as defined in section 78-1, except incandescent fixtures of 150 watts or less, other sources of 70 watts or less, lighting within public street rights-of-way, and lighting required for a specialized security or safety purpose. No searchlights shall be permitted.

x. Sec. 78-1117. Types of light source.

All outdoor lighting fixtures shall have high pressure sodium (HPS), low pressure sodium (LPS), incandescent, fluorescent or comparable light sources, except that in cases where true color rendition is required (including display lots and certain outdoor recreational uses), white lights such as metal halide shall be permitted. No new mercury vapor lighting fixtures shall be installed, and no replacement equipment or bulbs for pre-existing mercury vapor lighting fixtures shall be installed. No flickering or flashing lights shall be permitted, except low wattage seasonal lighting between November 1 and January 31 and lighting required for a specialized security or safety purpose.

y. Sec. 78-1118. Location.

No exterior light fixture shall be located within any required landscape bufferyard or within three feet of any property line except accent lights not exceeding 150 watts for incandescent fixtures or 70 watts for other fixtures.

z. Sec. 78-1119. Hours of illumination.

Within one hour after closing of the store, completion of the final work shift, or completion of specific activities associated with an institutional use, only building mounted security lighting and up

to 25 percent of all other outdoor lighting fixtures may remain illuminated. Any use with four or fewer pole or ground-mounted exterior lights shall be exempt from this section.

aa. Sec. 78-1120. Exterior lighting for outdoor recreational uses. NOT APPLICABLE

Ball diamonds, playing fields, golf driving ranges, tennis courts, parks, and similar outdoor recreational uses may be exempted from one or more of the outdoor lighting standards of this subdivision if approved by the plan commission through site plan review.

bb. Sec. 78-1121. Street lighting. NOT APPLICABLE

Street lighting shall conform to the standards set forth by the state for state and federal highways, the county for county highways, and the city for city streets and highways.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: _____

Subdivision IV. Vehicular Access Standards

cc. Sec. 78-1141. Purpose of subdivision.

The purpose of this subdivision is to promote the safety and general welfare of the public by alleviating or preventing congestion of public street rights-of-way through minimum public street access requirements applicable to private and public land uses.

dd. Sec. 78-1142. Permit required.

Each access point onto a public street or right-of-way shall have a permit issued by the director of public works per Wis. Stats. § 86.07(2).

ee. Sec. 78-1143. Required access plan.

Where a site plan is required for any project under division 8, article II of this chapter, any and all proposed access drives on the subject property shall be depicted as to their location and configuration on the site plan.

ff. Sec. 78-1144. Number of access points.

(a) Each lot shall have not more than two vehicular access points on any street frontage adjacent to any lot.

(b) In no instance shall any lot be permitted more than one vehicular access point on any one street if its frontage on such street is less than 100 linear feet (as measured along the right-of-way line).

(c) On arterial streets and in certain areas experiencing, or expected to experience, congestion and/or safety problems, access to a lot may be required to be located via an access point located on an adjacent property or another street frontage.

(d) Vehicular access may be further restricted by the state on state and federal highways, and by the county on county highways.

gg. Sec. 78-1145. Location of access points.

(a) Residential uses shall not have access points onto a nonresidential collector or arterial street unless such street has the only available frontage.

(b) Nonresidential uses shall not have access points onto a residential street unless such street has the only available frontage.

(c) At its intersection with the street right-of-way line on an arterial or nonresidential collector street, no access point shall be located closer than 100 feet from the intersection of any two street rights-of-way unless such access point is the only available location on the subject property. In all cases, access points shall be located as far from an intersection as the lot size permits.

(d) The minimum distance between vehicular access points serving the same property shall be 25 feet (edge to edge), as measured at the property line. A distance in excess of such 25 feet may be required if, in the opinion of the director of public works, present or projected traffic factors warrant a greater distance.

(e) The distance from an access drive to the property line of an adjacent property shall not be less than five feet, as measured along the right-of-way line, except where shared driveways are expressly allowed.

hh. Sec. 78-1146. Angle of intersection with public right-of-way.

All access drives shall intersect with the public street right-of-way at an angle of not less than 75 degrees, and shall intersect at an angle of 90 degrees wherever possible.

ii. Sec. 78-1147. Width of driveways. NOT APPLICABLE

All access drives shall have a minimum width of ten feet for single-family dwellings, 12 feet for two-family dwellings, and 20 feet for all other land uses. All curb openings for access drives shall have a maximum width of 24 feet per unit for single-family and two-family dwellings, and for all commercial uses the driveway width shall be determined at site plan review, as measured at the right-of-way line. Access drives may be flared between the right-of-way line and the roadway up to a maximum of five additional feet.

jj. Sec. 78-1148. Traffic control. NOT APPLICABLE

The traffic generated by any use shall be channelized and controlled in a manner which avoids congestion on public streets and other safety hazards. Traffic into and out of all off-street parking, loading and traffic circulation areas serving six or more parking spaces shall be forward moving, with no backing into streets or pedestrian ways. Except in the B-3 district, there shall be no loading or unloading within the public street right-of-way. Traffic control devices shall be required as determined by the director of public works.

kk. Sec. 78-1149. Paving of access. NOT APPLICABLE

All access approach areas located within a street right-of-way shall be paved to the satisfaction of the director of public works with a hard, all-weather surface, and shall be maintained so as to prevent the transport of gravel, dirt, or other eroded material from the subject property into the public street.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: _____

Additional Conditions of Approval (if applicable):

Findings: _____

Final Conclusions/Summary (if applicable):

Findings: _____

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Plan Commission Recommendation: Approve: _____ Deny: _____
Date: 3-15-2016

Common Council Action: Approve: _____ Deny: _____
Date: 3-15-2016

PCCU Present Signs



Front Directional Sign 3' x 8' Lighted



Front Monument Sign 3' x 16'7"



North Wall Sign 3' x 11'



East Wall Sign 3' x 11'



East Directional Sign 21" x 31"



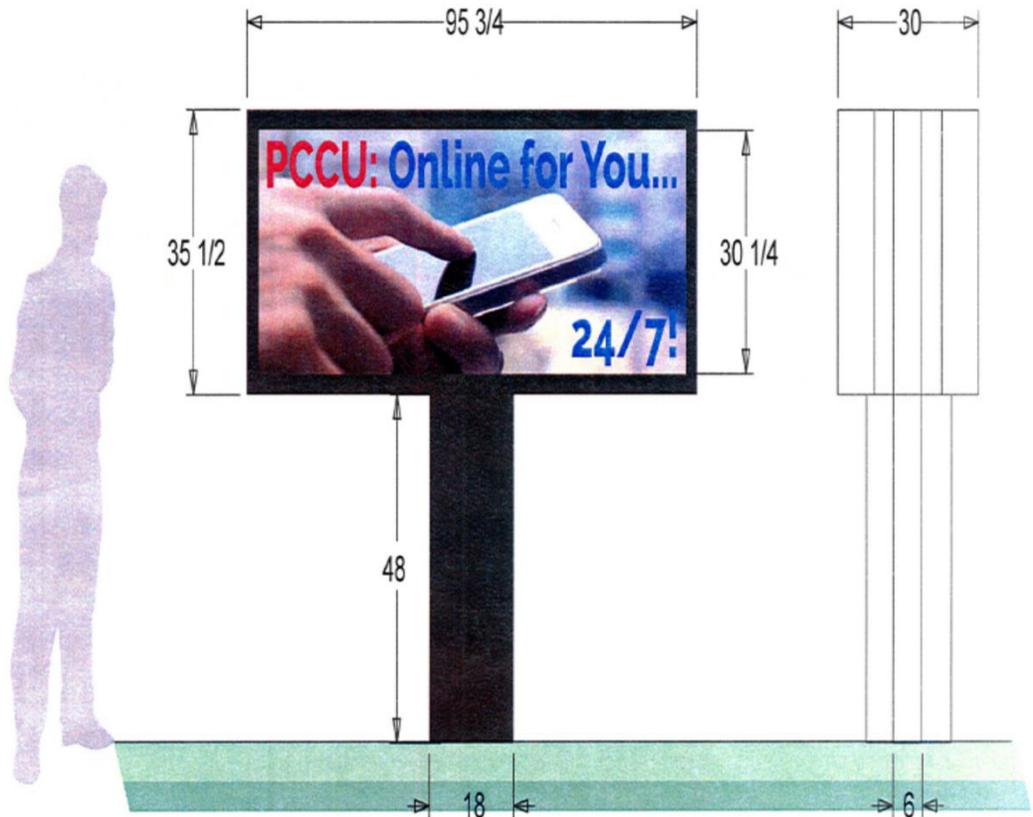
East Monument Sign 22" x 25'6"



East Directional Sign 25" x 37"

PCCU Proposed Sign

Electrical : 120volt, with grounded circuit for EMC.



- 1 Optec Display Electronic Message Center
 - cabinet size 30"x105"
 - Viewing Area 25"x100"
 - Double sided
 - 20mm LED pixel pitch
 - Full color
 - Matrix 32x128
 - Installed on two 4" painted steel posts
 - aluminum pole skirt around base painted any color (1)
 - Business ID and address on the painted aluminum pole skirt
 - Aluminum panels to cover the sides painted black
 - 5 year parts and labor warranty
 - Permit
 - Does not include variance of additional approval fees
 - Does not include addition electrical service if required
 - Sign will require its own 120V - 20 amp service - 24 hours a day
 - Site conditions may cause interference or non-communication between wireless system quoted above. If this occurs a new method of communication will need to be quoted.

PCCU Site Plan for Variable Message Sign





City of Milton Application and Record

Application Date: 2-19-2016 Date to be Reviewed by Plan Commission: _____

Applicant Name/Agent: Parker Community Credit Union Date to be Reviewed by Common Council: _____

Owner of Property: Parker Community Credit Union Date to be Reviewed by Zoning Board of Appeals: _____

Business Name: Parker Community Credit Union

Address: 2652 N. Lexington Dr.

City/State/Zip: Janesville, WI 53545

Telephone: 608-314-1773

Email: pmiller@pcwu.org *

Fee Required:	Date Paid
Conditional Use Permit \$250.00	
Rezoning \$250.00	
Variance \$250.00	

Reason for Request/Appeal or Reason Permit was Refused: Request is to allow a variable message sign to be constructed. The request is to exceed the allowable square footage for D-3 signs, also to allow an additional sign on the property, also to allow an additional illuminated sign on the property. Sections 78-1933(b)(4)

Property Location for Project

Address: 110 Parkview Dr.

Legal Description: _____

Description of Premise (Including Existing and Proposed Buildings): Credit Union

Current Zoning: (circle one) A1 A2 B1 B2 B3 C1 C2 M1 M2 MR R1 R2 R3 R4 PUD SP

Proposed Zoning: (circle one) A1 A2 B1 B2 B3 C1 C2 M1 M2 MR R1 R2 R3 R4 PUD SP

Present Use: Bank

Proposed Use: Bank

Present Occupancy: B Credit Union Proposed Occupancy: Credit Union

Name of Proposed Subdivision: _____

Surveyor's Name: _____ Address: _____

Property Lot Size: 1.35 acres (square feet or acres)



City of Milton Application and Record

Application Date: 2-19-2016 Date to be Reviewed by Plan Commission: _____
 Applicant Name/Agent: Parker Community Credit Union Date to be Reviewed by Common Council: _____
 Owner of Property: Parker Community Credit Union Date to be Reviewed by Zoning Board of Appeals: 3/8/16
 Business Name: Parker Community Credit Union
 Address: 2652 N. Lexington Dr.
 City/State/Zip: Janesville, WI 53545
 Telephone: 608-314-1773
 Email: pmiller@pccu.org

Fee Required:	Date Paid
Conditional Use Permit \$250.00	
Rezoning \$250.00	
Variance \$250.00	

Reason for Request/Appeal or Reason Permit was Refused: _____

Property Location for Project

Address: 110 Parkview Dr. Tax ID: 257 114003

Legal Description: V-23-1058

Description of Premise (Including Existing and Proposed Buildings): _____

Current Zoning: (circle one) A1 A2 B1 B2 **B3** C1 C2 M1 M2 MR R1 R2 R3 R4 PUD SP

Proposed Zoning: (circle one) A1 A2 B1 B2 B3 C1 C2 M1 M2 MR R1 R2 R3 R4 PUD SP

Present Use: Bank

Proposed Use: Bank

Present Occupancy: _____ Proposed Occupancy: _____

Name of Proposed Subdivision: _____

Surveyor's Name: _____ Address: _____

Property Lot Size: _____ (square feet or acres)

Lot Size of Preliminary Land Division: _____ Lot Size of Final Land Division: _____

Building Setback Front: _____ Side: _____ Rear: _____

Building Setback Corner: _____ Side: _____ Rear: _____

Number of Stories: 1 Number of Rooms: _____ Height: _____

Architect: _____ General Contractor: _____

Off Street Parking: _____ Number of Stalls: _____

Estimated Cost of Work: _____

The undersigned hereby agrees that the foregoing information is true and accurate, and that if this permit or request is granted, all work will be done in accordance with this application and all the Ordinances of the City of Milton.

Applicant Signature: *Lyan A. Miller*

Print Name: Lyan A. Miller, CFO

Recommendations by Director of Public Works: _____

Filed this 1st day of March, 20 16

Director of Public Works / Building Inspector, Howard Robinson

Elena Hilby
City Clerk, Elena Hilby

Publication Date: 3-3-2016

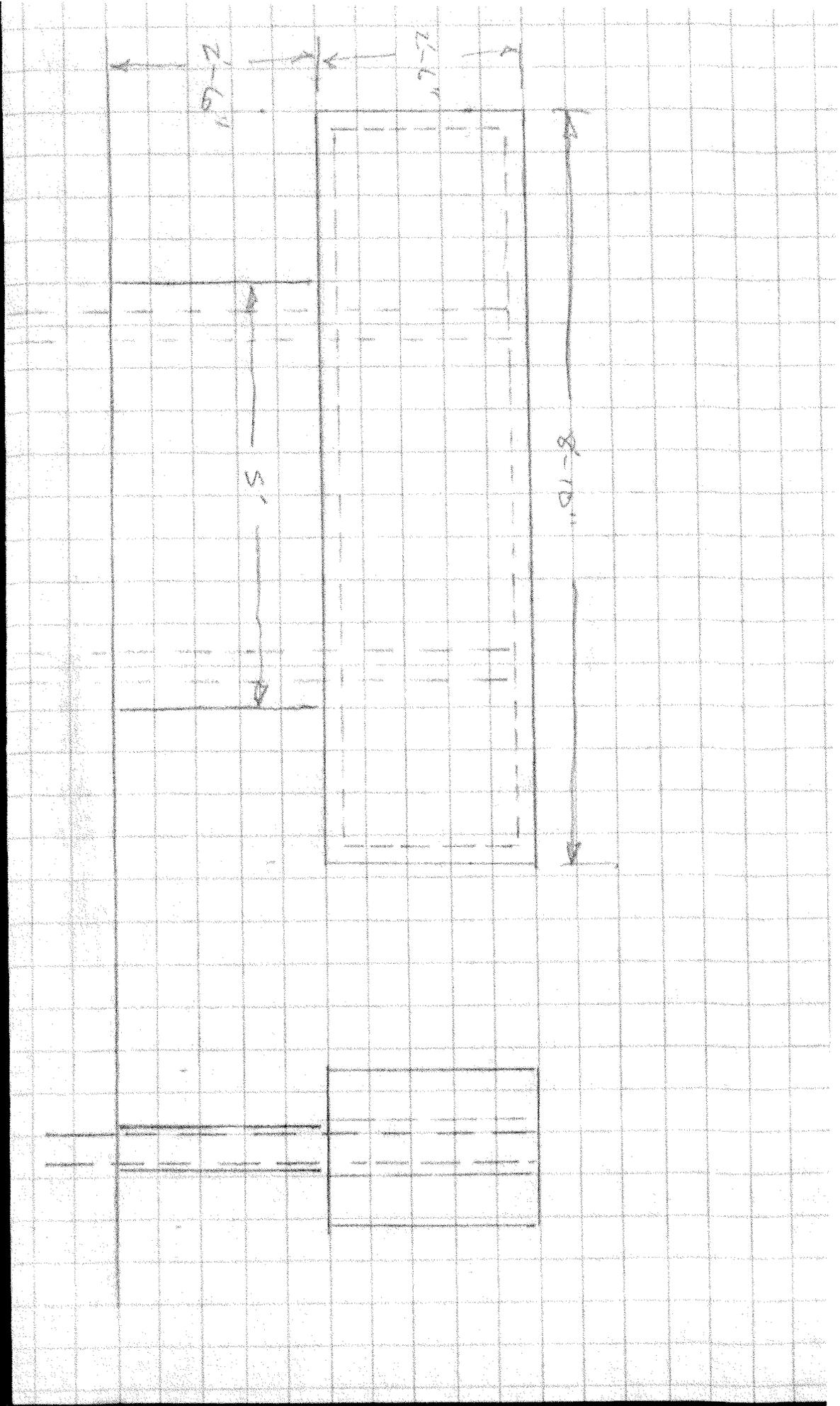
CORRENT



Proposed MONUMENT
- SEE SPECS ON NEXT PAGE



2 of 2



Proposed Monument

Office of the Director of Public Works

To: City of Milton Plan Commission, Mayor Anissa Welch, and Common Council Members
From: Howard Robinson, Director of Public Works
Date: 04/6/2016
Subject: Public Hearing and Discussion and Possible Action to Consider a Request from CharterNEX for a Site Plan Review and Conditional Use Permit to Allow a Building over 40 feet tall at 1264 E. High Street.

Discussion

CharterNEX located at 1264 E. High St. has submitted a conditional use permit request and a site plan review. They are extending the present tower area to the east. Buildings over 40 feet in an M-1 zoned district require a conditional use permit. They have submitted a site plan that shows where the addition is being constructed. The addition is being constructed over the existing building footprint. They meet city site plan requirements.

Staff Recommendation

I would recommend approval of the conditional use permit and site plan. They are planning on a late April or early May start date if they receive approval.

Attachments

- CUP Application
- Findings of Fact
- Site Plan



City of Milton Application and Record

Application Date: 03/04/16 Date to be Reviewed by Plan Commission: 04/06/16
 Applicant Name/Agent: Cory Vande Wattering Date to be Reviewed by Common Council: 4/6/16
 Owner of Property: CharterNEX Date to be Reviewed by Zoning Board of Appeals: N/A
 Business Name: CharterNEX
 Address: 1264 East High Street
 City/State/Zip: Milton, WI 53563
 Telephone: 920-766-5795
 Email: cvandewattering@Kellerbuilds.com

Fee Required:	Date Paid
Conditional Use Permit \$250.00	
Rezoning \$250.00	
Variance \$250.00	

Reason for Request/Appeal or Reason Permit was Refused: _____
(Sec. 78-816) A building over 40' in the M-1 district requires a conditional use permit.

Property Location for Project

Address: 1264 East High Street, Milton, WI 53563

Legal Description: _____

Description of Premise (Including Existing and Proposed Buildings): _____

Current Zoning: (circle one) A1 A2 B1 B2 B3 C1 C2 M1 M2 MR R1 R2 R3 R4 PUD SP

Proposed Zoning: (circle one) A1 A2 B1 B2 B3 C1 C2 M1 M2 MR R1 R2 R3 R4 PUD SP

Present Use: Manufacturing

Proposed Use: Manufacturing

Present Occupancy: _____ Proposed Occupancy: Same

Name of Proposed Subdivision: N/A

Surveyor's Name: _____ Address: _____

Property Lot Size: _____ (square feet or acres)

Lot Size of Preliminary Land Division: N/A Lot Size of Final Land Division: N/A
Building Setback Front: 425' Side: 260' Rear: 65'
Building Setback Corner: _____ Side: _____ Rear: _____
Number of Stories: 1 Number of Rooms: 1 Height: 70'
Architect: 4th Dimension Design, Inc. General Contractor: Keller, Inc.
Off Street Parking: N/A Number of Stalls: N/A
Estimated Cost of Work: \$590,000

The undersigned hereby agrees that the foregoing information is true and accurate, and that if this permit or request is granted, all work will be done in accordance with this application and all the Ordinances of the City of Milton.

Applicant Signature: _____

Print Name: Cory Vande Wattering

Recommendations by Director of Public Works: _____

Filed this 4th day of March, 20 16

Director of Public Works / Building Inspector, Howard Robinson

Elena Hilby
City Clerk, Elena Hilby

Publication Date: 3/31/2016

**CITY OF MILTON
PLAN COMMISSION – BUSINESS AND MANUFACTURING ZONING**

Conditional Use Permit Findings of Fact

Applicant Name: CharterNEX (circle one) Property Owner Tenant

Property Address: 1264 East High St. Please note: if applicant is Tenant of said property, written authorization for this Conditional Use Permit request must be submitted as an attachment.

Conditional Use Permit Request: Building Height

Applicable Ordinance Section: _____ Zoning of Property: M-1

Plan Commission Public Hearing Date: 04/06/16

Please note: Attendance at the Plan Commission public hearing is required in the case of additional questions or submission of additional findings that pertain to the Conditional Use Permit request.

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This Findings of Fact is intended to document compliance with the provisions of Sec. 78-91(b), which states that:

Prior to approval or denial by the common council, the plan commission shall review the applicable facts pertaining to the proposed conditional use as found in this division and shall recommend approval or denial of the conditional use after public hearing and consideration of the purpose and intent of the district, the purpose and intent of this chapter, the standards applicable to conditional uses in this division, the standards for evaluating conditional uses enumerated in division 6 of this article, and the performance standards enumerated in division 2, article IV of this chapter.

The Plan Commission has considered the standards described below in light of the evidence and testimony presented by the applicant and the public regarding the CUP request. If these Conditional Use Permit Findings of Fact are approved by the Plan Commission, they shall be incorporated into its decision to recommend approval or denial of the CUP application, including any changes adopted by the Commission.

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II. THE PURPOSE AND INTENT OF THIS CHAPTER.

Pursuant to sec. 78-3, the purpose of Chapter 78 is to:

- a. Promote the comfort, health, safety, morals, prosperity, aesthetics and general welfare of this community;
- b. Regulate and restrict the use of all lands and waters;
- c. Regulate and restrict the height, number of stories and size of buildings and other structures, the percentage of lot that may be occupied, the size of yards, courts and other open spaces, the density of population, and the location and use of buildings, structures and land for trade, industry, residence or other purposes;
- d. Further the appropriate use of land and conservation of natural resources;
- e. Stabilize and protect property values;
- f. Preserve and promote the beauty of the community;
- g. Preserve productive and historic agricultural soils; and
- h. Implement the community's master plan or plan components.

III. THE STANDARDS APPLICABLE TO CONDITIONAL USES IN THIS DIVISION.

These standards are described in sec. 78-93 as follows:

- a. The location, nature and size of the proposed use.
- b. The size of the site in relation to it.
- c. The location of the site with respect to existing or future roads giving access to it.
- d. Its compatibility with existing uses on land adjacent thereto.
- e. Its harmony with the future development of the district.
- f. Existing topography, drainage, soils types, and vegetative cover.
- g. Its relationship to the public interest, the purpose and intent of Chapter 78 and substantial justice to all parties concerned

IV. THE STANDARDS FOR EVALUATING CONDITIONAL USES ENUMERATED IN DIVISION 6 OF THIS ARTICLE.

Division 6 of Article II contains sections 78-181 through 78-187.

a. Sec. 78-182. Site design and physical characteristics.

Site design and physical characteristics to be considered are as follows:

- (1) Existing topography, drainage patterns and vegetative cover and the suitability of the proposed use in this regard.
- (2) Availability of water, sewer, rail and other services and the utility requirements of the proposed site.
- (3) Where public sewers are not available, the percolation characteristics of the soil.
- (4) Adequacy of the proposed internal circulation system, including safety consideration.
- (5) Access to sites from the internal circulation system.
- (6) The costs of providing various public services.
- (7) Appearance--how the area will look.

b. Sec. 78-183. Site location relative to the public road network.

Site location considerations relative to the public road network shall be as follows:

- (1) Convenient access to a public road network--safety of access points.
- (2) Visibility from the proposed road and the need for visibility.
- (3) Location to provide access primarily by righthand turning movements.

c. Sec. 78-184. Land use.

Land use considerations include the following:

- (1) Compatibility with existing or proposed uses and population density in the area.
- (2) Relation to any existing or proposed development at nearby interchanges.
- (3) Relation to recommendations in existing land use or comprehensive plans.

d. Sec. 78-185. Traffic generation.

Traffic generation considerations shall be as follows:

- (1) Amount of daily and peak-hour traffic to be generated, related to site size; traffic to be subclassified as to arterial, collector and local streets.
- (2) Amount of traffic generated relative to existing and anticipated ultimate generated traffic in the area.

- (3) Expected composition of site-generated traffic by vehicle types.
- (4) Effect of site-generated traffic on the operation of the area.
- (5) Safety and convenience to future users.

e. Sec. 78-186. Community effects.

Community effects to be considered shall be as follows:

- (1) Immediate and long range tax base.
- (2) Access to market and service area.
- (3) Relation to scenic or recreation values.
- (4) Relation to the public interest, the purpose and intent of this chapter and substantial justice to all parties concerned.
- (5) Compliance with the comprehensive (master) plan's goals and objectives.
- (6) Relation of the project density to population density in the surrounding area.

f. Sec. 78-187. Other relevant factors.

Other relevant factors are as follows:

- (1) The performance standards in division 2, article IV of this chapter.
See Section V of these Conclusions and Findings of Fact.
- (2) Additional impacts.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

**Comments: Requesting to build a new tower east of the 2014 tower.
Exact same height and width as the 2014 tower.**

V. THE PERFORMANCE STANDARDS ENUMERATED IN DIVISION 2, ARTICLE IV OF THIS CHAPTER.

Division 2, Article IV of Chapter 78 contains performance standards listed in Ordinance Sections 78-1052 through 78-1149. Section 78-1051 states that “no structure, land, or water shall hereafter be used except in compliance with their district regulations and with the performance standards of this division.”

Subdivision I

a. Sec. 78-1052. Air pollution.

No activity shall emit any fly ash, dust, fumes, vapors, mists or gases in such quantities as to cause soiling or danger to the health of persons, animals, vegetation or other forms of property. No activity shall emit any liquid or solid particles in concentrations exceeding 0.3 grains per cubic foot of the conveying gas nor any color visible smoke equal to or darker than No. 2 on the Ringelmann chart described in the United States Bureau of Mine's Information Circular 7719.

b. Sec. 78-1053. Fire and explosive hazards.

All activities involving the manufacturing, utilization, processing or storage of inflammable and explosive materials shall be provided with adequate safety devices against the hazard of fire and explosion and with adequate firefighting and fire suppression equipment and devices that are standard in the industry. All materials that range from active to intense burning shall be manufactured, utilized, processed and stored only in completely enclosed buildings which have

incombustible exterior walls and an automatic fire extinguishing system. The aboveground storage capacity of materials that produce flammable or explosive vapors shall not exceed the following:

Closed cup flashpoint	Gallons
Over 187 degrees Fahrenheit	400,000
105 degrees to 187 degrees Fahrenheit	200,000
Below 105 degrees Fahrenheit	100,000

c. Sec. 78-1054. Glare and heat.

No activity shall emit glare or heat that is visible or measurable outside its premises except activities in the M-2 industrial district which may emit direct or sky reflected glare which shall not be visible outside their district. All operations producing intense glare or heat shall be conducted within a completely enclosed building. Exposed sources of light shall be shielded so as not to be visible outside their premises.

d. Sec. 78-1055. Liquid or solid wastes.

No activity shall discharge at any point onto any land or into any water or public sewer any materials of such nature, quantity, noxiousness, toxicity or temperature which can contaminate, pollute or harm the quantity or quality of any water supply, can cause the emission of dangerous or offensive elements, can overload the existing municipal utilities or can injure or damage persons or property.

e. Sec. 78-1056. Noise.

- (a) No activity shall produce a sound level that is audible outside the M-1 or M-2 district boundaries which exceeds the following sound level measured by a sound level meter and associate octave band filter:

Octave Band Frequency (cycles per second)	SoundLevel (decibels)
0 to 75	79
75 to 150	74
150 to 300	66
300 to 600	59
600 to 1,200	53
1,200 to 2,400	47
2,400 to 4,800	41
Above 4,800	39

- (b) No activity in any other district shall produce a sound level outside its premises that exceeds the following:

Octave Band Frequency (cycles per second)	SoundLevel(decibels)
0 to 75	72
75 to 150	67
150 to 300	59
300 to 600	52
600 to 1,200	46
1,200 to 2,400	40
2,400 to 4,800	34
Above 4,800	32

(c) All noise shall be so muffled or otherwise controlled as not to become objectionable due to intermittence, duration, beat frequency, impulse character, periodic character or shrillness.

f. Sec. 78-1057. Odors.

No activity shall emit any odorous matter of such nature or quantity as to be offensive, obnoxious or unhealthful outside their premises. The guide for determining odor measurement and control shall be Wis. Admin. Code § NR 154.18. Agriculture odors associated with normal agricultural activities are exempted from this section.

g. Sec. 78-1058. Radioactivity and electrical disturbances.

No activity shall emit radioactivity or electrical disturbances outside its premises that are dangerous or adversely affect the use of neighboring premises.

h. Sec. 78-1059. Vibration.

No activity in any district except the M-2 industrial district shall emit vibrations which are discernible without instruments outside its premises. No activity in an M-2 industrial district shall emit vibrations which exceed the following displacement measured with a three-component measuring system:

Frequency (cycles per second)	Outside the Premises	Outside the District
0 to 10	0.0020	0.0004
10 to 20	0.0010	0.0002
20 to 30	0.0006	0.0001
30 to 40	0.0004	0.0001
40 to 50	0.0003	0.0001
50 and over	0.0002	0.0001

i. Sec. 78-1060. Water quality protection.

(a) No activity shall locate, store, discharge or permit the discharge of any treated, untreated or inadequately treated liquid, gaseous or solid materials of such nature, quantity, obnoxiousness, toxicity or temperature that would be likely to run off, seep, percolate or wash into surface or subsurface waters so as to contaminate, pollute or harm such waters or cause nuisances such as objectionable shore deposits, floating or submerged debris, oil or scum, color, odor, taste or unsightliness or be harmful to human, animal, plant or aquatic life.

(b) In addition, no activity shall discharge any liquid, gaseous or solid materials so as to exceed or contribute toward the exceeding of the minimum standards and those other standards and the application of those standards set forth in Wis. Admin. Code ch. NR 102 for all navigable waters.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: _____

No existing conditions are changing

Subdivision II. Outdoor Trash and Garbage Storage

j. Sec. 78-1081. Subdivision provisions to be met.

The requirements of this subdivision shall be met for outdoor trash and garbage storage, except where residential (curbside) service is provided.

k. Sec. 78-1082. Purpose.

The purpose of this subdivision is to protect and improve community appearance, prevent the creation of nuisances and health hazards, and improve the quality of life in the city.

l. Sec. 78-1083. Required access plan.

Where a site plan is required for any project under division 8, article II of this chapter, any and all proposed outdoor trash and garbage storage on the subject property shall be depicted as to their location, configuration, and screening on the site plan.

m. Sec. 78-1084. Trash dumpster and garbage receptacle enclosure required.

All garbage cans, trash dumpsters, trash containers, and other storage devices situated on any property shall be closed containers with lids. Where such containers are located outside a building, they shall be completely concealed or screened from public view through opaque fencing and gates, supplemented by screen landscaping. Such fence enclosure shall be constructed of materials compatible with the materials on the front building wall of the main building. No portion of the lot shall be used for open or unenclosed storage of trash or waste of any kind.

n. Sec. 78-1085. Trash dumpster and garbage receptacle maintenance required.

Fencing and landscaping for storage areas shall be maintained in good condition and kept litter-free. All garbage cans, trash containers, and other garbage storage devices shall be emptied and the contents thereof properly disposed.

o. Sec. 78-1086. Trash dumpster and garbage receptacle location in off-street parking space or drive.

No trash dumpster or other trash or waste receptacle shall be permitted in any off-street parking space or drive.

p. Sec. 78-1087. Concrete slab required.

All outside trash dumpsters and garbage receptacles shall be placed upon a concrete slab that has a thickness of not less than five inches.

q. Sec. 78-1088. Adequate size to accommodate recycling materials.

All trash dumpster and garbage receptacle areas shall be of an adequate size to accommodate the storage of materials to be recycled.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: _____

No existing conditions are changing

Subdivision III. Outdoor Lighting Standards

r. Sec. 78-1111. Purpose.

The purpose of this subdivision is to provide for adequate and safe lighting of private property, while limiting light spillover and glare onto adjacent properties and public streets. Such limitations are intended to prevent the creation of nuisances, promote traffic safety, conserve energy, preserve the area's dark sky, and support astronomy activities.

s. Sec. 78-1112. Applicability of subdivision provisions.

This subdivision shall be applied to the installation of all new and replacement private outdoor lighting fixtures. Outdoor lighting fixtures legally installed prior to the effective date of the ordinance from which this subdivision is derived shall not be required to comply with these outdoor lighting standards; however, any replacement of such lighting fixtures shall comply with all outdoor lighting standards as set forth in this subdivision.

t. Sec. 78-1113. Required lighting plan.

Where a development requires site plan review under division 8, article II of this chapter, all outdoor lighting fixtures shall be depicted and described on the required site plan or on a separate lighting plan. Depending on the complexity of the proposal or projected impact of lighting, the city may also require the following information:

- (1) A catalog page, cut sheet, or photograph of the outdoor lighting fixtures, including the mounting method and light cutoff angles.
- (2) A photometric plot plan, drawn to the same scale as the site plan, and indicating the location of all lighting fixtures proposed, mounting and/or installation height in feet, the average illumination level (in footcandles) within the parking lot, and illumination levels at regular intervals around the site and at property lines.

u. Sec. 78-1114. Maximum luminaire height.

The maximum permitted luminaire height shall be 35 feet in all nonresidential zoning districts, and 25 feet in all residential districts. The height of both the pole and base shall be considered in the measurement of luminaire height. In no instance shall an outdoor lighting fixture in a nonresidential zoning district be mounted or oriented such that the lighting element is visible from a property in a residential district.

v. Sec. 78-1115. Maximum illumination levels.

Average illumination levels within parking lots shall not exceed one footcandle within residential districts, and three footcandles within all other districts. The illumination level at any property line shall not exceed 0.5 footcandles above the ambient lighting conditions on a

cloudless night where the property adjoins land in a residential district, and two footcandles above the ambient lighting conditions on a cloudless night where the property adjoins land in any other zoning district. The plan commission may agree to allow greater lighting levels based on specific and reasonable written justification provided by the applicant, provided that the purpose of this subdivision is not compromised.

w. Sec. 78-1116. Use of shielded light fixtures.

All outdoor lighting fixtures shall be shielded as defined in section 78-1, except incandescent fixtures of 150 watts or less, other sources of 70 watts or less, lighting within public street rights-of-way, and lighting required for a specialized security or safety purpose. No searchlights shall be permitted.

x. Sec. 78-1117. Types of light source.

All outdoor lighting fixtures shall have high pressure sodium (HPS), low pressure sodium (LPS), incandescent, fluorescent or comparable light sources, except that in cases where true color rendition is required (including display lots and certain outdoor recreational uses), white lights such as metal halide shall be permitted. No new mercury vapor lighting fixtures shall be installed, and no replacement equipment or bulbs for pre-existing mercury vapor lighting fixtures shall be installed. No flickering or flashing lights shall be permitted, except low wattage seasonal lighting between November 1 and January 31 and lighting required for a specialized security or safety purpose.

y. Sec. 78-1118. Location.

No exterior light fixture shall be located within any required landscape bufferyard or within three feet of any property line except accent lights not exceeding 150 watts for incandescent fixtures or 70 watts for other fixtures.

z. Sec. 78-1119. Hours of illumination.

Within one hour after closing of the store, completion of the final work shift, or completion of specific activities associated with an institutional use, only building mounted security lighting and up to 25 percent of all other outdoor lighting fixtures may remain illuminated. Any use with four or fewer pole or ground-mounted exterior lights shall be exempt from this section.

aa. Sec. 78-1120. Exterior lighting for outdoor recreational uses.

Ball diamonds, playing fields, golf driving ranges, tennis courts, parks, and similar outdoor recreational uses may be exempted from one or more of the outdoor lighting standards of this subdivision if approved by the plan commission through site plan review.

bb. Sec. 78-1121. Street lighting.

Street lighting shall conform to the standards set forth by the state for state and federal highways, the county for county highways, and the city for city streets and highways.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: _____

No existing conditions are changing

Subdivision IV. Vehicular Access Standards

cc. Sec. 78-1141. Purpose of subdivision.

The purpose of this subdivision is to promote the safety and general welfare of the public by alleviating or preventing congestion of public street rights-of-way through minimum public street access requirements applicable to private and public land uses.

dd. Sec. 78-1142. Permit required.

Each access point onto a public street or right-of-way shall have a permit issued by the director of public works per Wis. Stats. § 86.07(2).

ee. Sec. 78-1143. Required access plan.

Where a site plan is required for any project under division 8, article II of this chapter, any and all proposed access drives on the subject property shall be depicted as to their location and configuration on the site plan.

ff. Sec. 78-1144. Number of access points.

(a) Each lot shall have not more than two vehicular access points on any street frontage adjacent to any lot.

(b) In no instance shall any lot be permitted more than one vehicular access point on any one street if its frontage on such street is less than 100 linear feet (as measured along the right-of-way line).

(c) On arterial streets and in certain areas experiencing, or expected to experience, congestion and/or safety problems, access to a lot may be required to be located via an access point located on an adjacent property or another street frontage.

(d) Vehicular access may be further restricted by the state on state and federal highways, and by the county on county highways.

gg. Sec. 78-1145. Location of access points.

(a) Residential uses shall not have access points onto a nonresidential collector or arterial street unless such street has the only available frontage.

(b) Nonresidential uses shall not have access points onto a residential street unless such street has the only available frontage.

(c) At its intersection with the street right-of-way line on an arterial or nonresidential collector street, no access point shall be located closer than 100 feet from the intersection of any two street rights-of-way unless such access point is the only available location on the subject property. In all cases, access points shall be located as far from an intersection as the lot size permits.

(d) The minimum distance between vehicular access points serving the same property shall be 25 feet (edge to edge), as measured at the property line. A distance in excess of such 25 feet may be required if, in the opinion of the director of public works, present or projected traffic factors warrant a greater distance.

(e) The distance from an access drive to the property line of an adjacent property shall not be less than five feet, as measured along the right-of-way line, except where shared driveways are expressly allowed.

hh. Sec. 78-1146. Angle of intersection with public right-of-way.

All access drives shall intersect with the public street right-of-way at an angle of not less than 75 degrees, and shall intersect at an angle of 90 degrees wherever possible.

ii. Sec. 78-1147. Width of driveways.

All access drives shall have a minimum width of ten feet for single-family dwellings, 12 feet for two-family dwellings, and 20 feet for all other land uses. All curb openings for access drives shall have a maximum width of 24 feet per unit for single-family and two-family dwellings, and for all commercial uses the driveway width shall be determined at site plan review, as measured at the right-of-way line. Access drives may be flared between the right-of-way line and the roadway up to a maximum of five additional feet.

jj. Sec. 78-1148. Traffic control.

The traffic generated by any use shall be channelized and controlled in a manner which avoids congestion on public streets and other safety hazards. Traffic into and out of all off-street parking, loading and traffic circulation areas serving six or more parking spaces shall be forward moving, with no backing into streets or pedestrian ways. Except in the B-3 district, there shall be no loading or unloading within the public street right-of-way. Traffic control devices shall be required as determined by the director of public works.

kk. Sec. 78-1149. Paving of access.

All access approach areas located within a street right-of-way shall be paved to the satisfaction of the director of public works with a hard, all-weather surface, and shall be maintained so as to prevent the transport of gravel, dirt, or other eroded material from the subject property into the public street.

Findings:

Not Applicable for the Proposed Use

Compliance with this Section Shall be Demonstrated with Site Plan Submittal

Comments: _____

No existing conditions are changing

Additional Conditions of Approval (if applicable):

Findings: _____

Final Conclusions/Summary (if applicable):

Findings: _____



Plan Commission Recommendation: Approve: _____ Deny: _____
Date: _____

Common Council Action: Approve: _____ Deny: _____
Date: _____

CHARTER NEX FILMS 2016 TOWER ADDITION

1264 EAST HIGH STREET
MILTON, WISCONSIN 53563

GENERAL / STRUCTURAL NOTES

GENERAL REQUIREMENTS

NOTES & DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.

ALL MATERIALS AND WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE 2011 WISCONSIN COMMERCIAL BUILDING CODE INCLUDING LOCAL ORDINANCES AND AMENDMENTS.

ALL MATERIAL SHALL BE FURNISHED AS SHOWN HEREIN UNLESS THE OWNER OR ENGINEER APPROVES EQUAL ALTERNATIVES.

NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ENGINEER.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING, BUT NOT LIMITED TO BRACING AND SHORING, OBSERVATION VISITS TO THE SITE, BY THE ENGINEER AND/OR THE ENGINEER'S REPRESENTATIVE(S) SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.

BUILDING INFORMATION

- CONSTRUCTION TYPE = IIB
- OCCUPANCY = F-1
- ALTERATION AREA = 4192 SQ. FT.
- SPRINKLED

THE ASCE7-05 OR FACTORY MUTUAL (FM 1-28/FM 1-31/FM 1-54) LOADING THAT PRODUCES THE MAXIMUM EFFECT OR PRESCRIPTIVE RESULT WILL BE USED FOR STRUCTURAL DESIGN, ASCE7-05 AND FACTORY MUTUAL FM 1-28 (WIND DESIGN), FM 1-31 (METAL ROOF SYSTEMS - STANDING SEAM), AND FM 1-54 (ROOF LOADS FOR NEW CONST) ARE THE DATA SHEETS USED TO DETERMINE THE STRUCTURAL REQUIREMENTS STATED BELOW.

DESIGN LOADS - WI 2011 CBC (ASCE7-05)

ROOF: GROUND SNOW LOAD (P_g) = 25 PSF
SNOW IMPORTANCE FACTOR (I_s) = 1.0
SNOW LOAD EXPOSURE FACTOR (C_e) = 1.0
SLOPED ROOF/FLAT ROOF (P_f) = 20 PSF
-SNOW DRIFT APPLIED PER ASCE7
ROOF THERMAL FACTOR (C_t) = 1.0
COLLATERAL LOAD = 3 PSF
ROOFING MATERIAL DEAD LOAD = 3 PSF

WIND: WIND SPEED = 90 MPH, EXPOSURE = C
WIND IMPORTANCE FACTOR (I) = 1.0
INTERNAL PRESSURE COEFFICIENT (C_{pi}) = ±0.18
COMPONENT & CLADDING DESIGN PRESSURE = (SEE CHART CC)

FUTURE EQUIPMENT PLATFORMS (TO BE DETERMINED):

LIVE LOAD = 60 PSF
DEAD + COL = 15 PSF
EQUIPMENT LOADS - TO BE PROVIDED BY OWNER

SEISMIC: SEISMIC USE GROUP = II
SEISMIC SITE CLASS = D
SEISMIC IMP. FACTOR = 1.0
SEISMIC DESIGN CATEGORY = B
SPECTRA RESPONSE COEFF. S_{ds} = 0.130, S_{d1} = 0.077
DESIGN BASE SHEAR (V) = 0.04W
ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE

CHART CC

BUILDING AREA	TRIBUTARY AREA SQ. FT.			
	10	20	50	500
INTERIOR ROOF	-32.70	-30.86	-28.44	-26.61
EDGE ROOF	-51.32	-48.75	-45.36	-42.79
CORNER ROOF	-69.94	-66.64	-62.28	-58.98
INTERIOR WALL	-22.35	-22.35	-21.17	-20.28
EDGE WALL	-40.97	-40.97	-36.26	-32.69
EDGE ZONE STRIP WIDTH (FT)	3'-0"			

(CHART CC LOADS BASED ON TOWER GEOMETRY. NEGATIVE VALUES INDICATES LOAD ACTING AWAY FROM BUILDING)
LOADS TO BE APPLIED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2011 WISCONSIN COMMERCIAL BUILDING CODE

DESIGN CRITERIA

THE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE (f'_c) AT 28 DAYS SHALL BE:

SLAB-ON-GRADE 3,500 PSI
FOOTINGS & WALLS 3,000 PSI
EXTERIOR 4,000 PSI
DRYPACK OR GROUT FOR BASE PLATES 4,000 PSI

REINFORCING STEEL F_y=60,000 PSI (ASTM A615, GRADE 60)
STRUCTURAL STEEL F_y=50,000 PSI (ASTM A992)
WF SHAPES F_y=50,000 PSI (ASTM A992)
STRUCTURAL TUBING F_y=46,000 PSI (ASTM A500, GRADE B)
STRUCTURAL PIPES F_y=35,000 PSI (ASTM A53, GRADE B)
CHANNELS & ANGLES F_y=36,000 PSI (ASTM A36)
PLATE STEEL F_y=50,000 PSI (ASTM A572, GRADE 50)
WELDING ELECTRODES E70XX (PER AWS D1.1 LATEST EDITION)
COLD FORM STEEL F_y=55,000 PSI (ASTM 1011, GRADE 55)

DESIGN METHOD

MANUAL OF STEEL CONSTRUCTION, ALLOWABLE STRESS DESIGN (AISC 13TH EDITION).
COLD FORMED STEEL DESIGN MANUAL (NAS-07).

STEEL DECK INSTITUTE (SDI), SPECIFICATIONS FOR ROOF & FLOOR DECK, LATEST EDITION.

STRUCTURAL STEEL

ALL STRUCTURAL STEEL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF ASTM AND SHALL BE FABRICATED AND ERECTED ACCORDING TO AISC SPECIFICATIONS.

STEEL FABRICATOR/SUPPLIER SHALL DESIGN CONNECTIONS TO RESIST REACTIONS CALCULATED FROM THE UNIFORM LOAD CONSTANTS SHOWN IN THE AISC BEAM TABLES UNLESS REACTIONS ARE NOTED ON THE DRAWINGS. CONNECTIONS SHALL BE SHOP WELDED AND FIELD BOLTED UNLESS NOTED OTHERWISE ON THE DRAWINGS. PROVIDE A MINIMUM OF TWO (2) BOLTS FOR EACH CONNECTION.

ALL SHOP AND FIELD BOLTED CONNECTIONS SHALL USE A325 BOLTS AND NUTS, UNLESS OTHERWISE NOTED. AISC INSTALLATION PROCEDURES FOR A325 BOLTS AND NUTS MUST BE FOLLOWED.

WELDING SHALL CONFORM TO THE LATEST EDITION OF AWS D1.1. ALL WELDING SHALL BE PERFORMED BY APPROVED CERTIFIED WELDERS.

NO HOLES, OTHER THAN THOSE SPECIFICALLY DETAILED, SHALL BE ALLOWED THROUGH STRUCTURAL STEEL MEMBERS.

ERECTOR OF STEEL MEMBERS SHALL NOT COMMENCE UNTIL ALL CONCRETE/MASONRY ELEMENTS HAVE ATTAINED AT LEAST 75% OF THEIR INTENDED MINIMUM COMPRESSIVE STRENGTH.

COLD FORMED LIGHT GAGE STEEL

ALL STRUCTURAL STEEL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AISI "SPECIFICATION FOR DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS."

ALL FASTENING OF COMPONENTS SHALL BE WITH SELF TAPPING SCREWS OR WELDING AS INDICATED ON APPROVED STEEL DRAWINGS. WELDING SHALL CONFORM TO THE LATEST EDITION OF AWS D1.3. ALL WELDING SHALL BE PERFORMED BY APPROVED CERTIFIED WELDERS.

NO HOLES, OTHER THAN THOSE SPECIFICALLY DETAILED, SHALL BE ALLOWED THROUGH STRUCTURAL STEEL MEMBERS.

DRAWING INDEX

SHEET NO.	DESCRIPTION	REV. NO.	DATE
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S1.1	TOWER ROOF FRAMING PLAN		1-29-16
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S3.0	TOWER FRAMING ELEVATIONS		1-29-16
S3.1	TOWER FRAMING ELEVATIONS		1-29-16
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S4.1	TOWER PANEL ELEVATIONS		1-29-16
S5.0	TOWER FRAMING DETAILS		1-29-16
S5.1	TOWER FRAMING DETAILS		1-29-16
S6.0	TOWER PANEL DETAILS		1-29-16
S6.1	TOWER PANEL DETAILS		1-29-16



February 18, 2016

CUST ID No. 1194543

JOEL NELSON
4TH DIMENSION DESIGN INC
817 VENTURE CT
WAUKESHA WI 53189

CONDITIONAL APPROVAL
PLAN APPROVAL EXPIRES: 02/18/2019

SITE:
Charterex Films
1264 E High St
City of Milton, 53563
Rock County

FOR:
Facility: 757739 CHARTEREX FILMS TOWER ADDITION
1264 E HIGH ST
MILTON 53563

Object Type: Building ICC Regulated Object ID No.: 1584876 Code Applies Date: 02/01/16
Alteration Level: 2; Major Occupancy: Factory; Type IIB Metal Frame Unprotected class of construction; Addition- Alteration plan; 4,192 project sq ft; Completely Sprinklered; Occupancy: F-1 Factory Moderate-Hazard; Sprinkler Design: NFPA-13 Sprinkler

The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been CONDITIONALLY APPROVED. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements. Only those object types listed above have been approved; other submittals such as plumbing and those listed below under Also Submit, may also be required.

The following conditions shall be met during construction or installation and prior to occupancy or use:

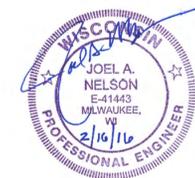
Submit - Please submit the following additional components or systems to our agency prior to installation or occupancy of the building. Be aware that additional fees are required if submittals are not timely. Our agency offers a number of worksheets and checklists for the Commercial Building Code at:

http://dps.wi.gov/Documents/Industry%20Services/Forms/Commercial%20Buildings/Combined%20Worksheets%20Instructions%20_2009%20ICC_.pdf

that may assist you in preparing your submittal. Record approval information for each required submittal below. When ready for building occupancy, provide this information to your municipal building official, along with any required compliance statement, in order to obtain any municipal occupancy permit or license.

- SPS 361.30(3) - Unless the sprinkler system is part of a multi-purpose piping system, or an exception listed under SPS 361.30(4)(b) [i.e. alteration or addition of 20 or fewer sprinkler heads to an existing fire sprinkler system] is met, submit prior to installation, properly signed and sealed fire suppression plans to the Industry Services office that reviewed the building submittal, except for the Holmen office. A review appointment and simplified application completion may be made in advance by using the online plan review request retrieval

CONDITIONAL APPROVAL
DEPT OF SAFETY & PROFESSIONAL REGULATION
DIVISION OF INDUSTRY SERVICES
SEE CORR. RESPONSE



PROJECT MANAGER:
G. VANDE WETTERING

DESIGNER:
ADD / J. NELSON

DRAWN BY:
D. TIPPETT

EXPEDITOR:
S. LAMON

SUPERVISOR:
D. CRAKER

PRELIMINARY NO.:

CONTRACT NO. 54164

DATE: 1-29-16

SHEET: T1.0

'ISSUED FOR CONSTRUCTION'

DIVISION OF INDUSTRY SERVICES
141 NW BARSTOW ST FL 4TH
WAUKESHA WI 53188-3789
Contact Through Relay
<http://dps.wi.gov/programs/industry-services>
www.wisconsin.gov

Scott Walker, Governor
Dave Ross, Secretary

ATTN: Buildings & Structures Building Inspector

MUNICIPAL CLERK
CITY OF MILTON
710 S JANESVILLE STREET
MILTON WI 53563-1579

(Please forward a copy of this letter to the fire department conducting inspections of this project.)

Identification Numbers
Transaction ID No. 2662017
Site ID No. 698401
Please refer to both identification numbers, above, in all correspondence with the agency.

CHARTER NEX FILMS 2016 TOWER ADDITION

1264 EAST HIGH STREET
MILTON, WISCONSIN 53563

GENERAL / STRUCTURAL NOTES

GENERAL REQUIREMENTS

NOTES & DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.

ALL MATERIALS AND WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE 2011 WISCONSIN COMMERCIAL BUILDING CODE INCLUDING LOCAL ORDINANCES AND AMENDMENTS.

ALL MATERIAL SHALL BE FURNISHED AS SHOWN HEREIN UNLESS THE OWNER OR ENGINEER APPROVES EQUAL ALTERNATIVES.

NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ENGINEER.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING, BUT NOT LIMITED TO BRACING AND SHORING, OBSERVATION VISITS TO THE SITE BY THE ENGINEER AND/OR THE ENGINEER'S REPRESENTATIVE(S) SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.

BUILDING INFORMATION

- CONSTRUCTION TYPE = IIB
- OCCUPANCY = F-1
- ALTERATION AREA = 4192 SQ. FT.
- SPRINKLED

THE ASC7-05 OR FACTORY MUTUAL (FM 1-28/FM 1-31/FM 1-54) LOADING THAT PRODUCES THE MAXIMUM EFFECT OR PRESCRIPTIVE RESULT WILL BE USED FOR STRUCTURAL DESIGN. ASC7-05 AND FACTORY MUTUAL FM 1-28 (WIND DESIGN), FM 1-31 (METAL ROOF SYSTEMS - STANDING SEAM), AND FM 1-54 (ROOF LOADS FOR NEW CONST) ARE THE DATA SHEETS USED TO DETERMINE THE STRUCTURAL REQUIREMENTS STATED BELOW.

DESIGN LOADS - WI 2011 CBC (ASC7-05)

ROOF: GROUND SNOW LOAD (P_g) = 25 PSF
SNOW IMPORTANCE FACTOR (I_s) = 1.0
SNOW LOAD EXPOSURE FACTOR (C_e) = 1.0
SLOPED ROOF/FLAT ROOF (P_f) = 20 PSF
-SNOW DRIFT APPLIED PER ASC7
ROOF THERMAL FACTOR (C_t) = 1.0
COLLATERAL LOAD = 3 PSF
ROOFING MATERIAL DEAD LOAD = 3 PSF

WIND: WIND SPEED = 90 MPH, EXPOSURE = C
WIND IMPORTANCE FACTOR (I) = 1.0
INTERNAL PRESSURE COEFFICIENT ($G_c p_i$) = ± 0.18
COMPONENT & CLADDING DESIGN PRESSURE = (SEE CHART CC)

FUTURE EQUIPMENT PLATFORMS (TO BE DETERMINED):

LIVE LOAD = 60 PSF
DEAD + COL = 15 PSF
EQUIPMENT LOADS - TO BE PROVIDED BY OWNER

SEISMIC: SEISMIC USE GROUP = II
SEISMIC SITE CLASS = D
SEISMIC IMP. FACTOR = 1.0
SEISMIC DESIGN CATEGORY = B
SPECTRA RESPONSE COEFF. S_{ds} = 0.130, S_{d1} = 0.077
DESIGN BASE SHEAR (V) = 0.04W
ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE

CHART CC

BUILDING AREA	TRIBUTARY AREA SQ. FT.			
	10	20	50	100
INTERIOR ROOF	-37.70	-30.86	-28.44	-26.61
EDGE ROOF	-51.32	-48.75	-45.36	-42.79
CORNER ROOF	-69.94	-66.64	-62.28	-58.98
INTERIOR WALL	-22.35	-22.35	-21.17	-20.28
EDGE WALL	-40.97	-40.97	-36.26	-32.89
EDGE ZONE STRIP WIDTH (FT)	3'-0"			

(CHART CC LOADS BASED ON TOWER GEOMETRY, NEGATIVE VALUES INDICATES LOAD ACTING AWAY FROM BUILDING)
LOADS TO BE APPLIED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2011 WISCONSIN COMMERCIAL BUILDING CODE

DESIGN CRITERIA

THE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE (f'_c) AT 28 DAYS SHALL BE:

SLAB-ON-GRADE 3,500 PSI
FOOTINGS & WALLS 3,000 PSI
EXTERIOR REACTION 4,000 PSI
DRYPACK OR GROUT FOR BASE PLATES 4,000 PSI

REINFORCING STEEL F_y =60,000 PSI (ASTM A615, GRADE 60)
STRUCTURAL STEEL

WF SHAPES F_y =50,000 PSI (ASTM A992)
STRUCTURAL TUBING F_y =46,000 PSI (ASTM A500, GRADE B)
STRUCTURAL PIPES F_y =35,000 PSI (ASTM A53, GRADE B)

CHANNELS & ANGLES F_y =36,000 PSI (ASTM A36)
PLATE STEEL F_y =50,000 PSI (ASTM A572, GRADE 50)
WELDING ELECTRODES E70XX (PER AWS D1.1 LATEST EDITION)

COLD FORM STEEL F_y =55,000 PSI (ASTM 1011, GRADE 55)

DESIGN METHOD

MANUAL OF STEEL CONSTRUCTION, ALLOWABLE STRESS DESIGN (AISC 13TH EDITION).

COLD FORMED STEEL DESIGN MANUAL (NAS-07).

STEEL DECK INSTITUTE (SDI), SPECIFICATIONS FOR ROOF & FLOOR DECK, LATEST EDITION.

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CHART CC

BUILDING AREA	TRIBUTARY AREA SQ. FT.			
	10	20	50	100
INTERIOR ROOF	-37.60	-35.49	-32.70	-30.60
EDGE ROOF	-59.02	-56.07	-52.16	-49.21
CORNER ROOF	-80.44	-76.64	-71.63	-67.63
INTERIOR WALL	-25.70	-25.70	-24.34	-23.32
EDGE WALL	-47.12	-47.12	-41.70	-37.60
EDGE ZONE STRIP WIDTH (FT)	3'-0" (USE 6'-0" @ ROOF CORNERS)			

(CHART CC LOADS BASED ON TOWER GEOMETRY, NEGATIVE VALUES INDICATES LOAD ACTING AWAY FROM BUILDING)
LOADS TO BE APPLIED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FACTORY MUTUAL DATA SHEETS AND ASC7.

NOTE: SECONDARY STRUCTURE (PURLINS/GIRTS) LOADING IS BASED ON ACTUAL TRIBUTARY AREA, ANY OTHER COMPONENT & CLADDING ELEMENTS ARE DESIGNED USING 10 SQ. FT. TRIB ONLY.

MINIMUM WIND RATING FOR ROOF ASSEMBLIES (ENCLOSED BLDGS):
ROOF FIELD AREA = 90
ROOF PERIMETER AREA = 150
ROOF CORNER AREA = 225

THE MANUFACTURER OF ALL COMPONENTS AND CLADDING MUST ADHERE TO ALL REQUIREMENTS OF THE FACTORY MUTUAL DATA SHEETS AND ANY ADDITIONAL REQUIREMENTS FROM THE INSURANCE COMPANY LOSS PREVENTION REPORT.

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S6.0	TOWER PANEL DETAILS		1-29-16
S6.1	TOWER PANEL DETAILS		1-29-16



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CharterNEX Films

WISCONSIN

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-
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-
-

PROJECT MANAGER:
C. VANDE WETTERING

DESIGNER:
4DD / J. NELSON

DRAWN BY:
D. TIPPETT

EXPEDITOR:
S. LAMON

SUPERVISOR:
D. CRAKER

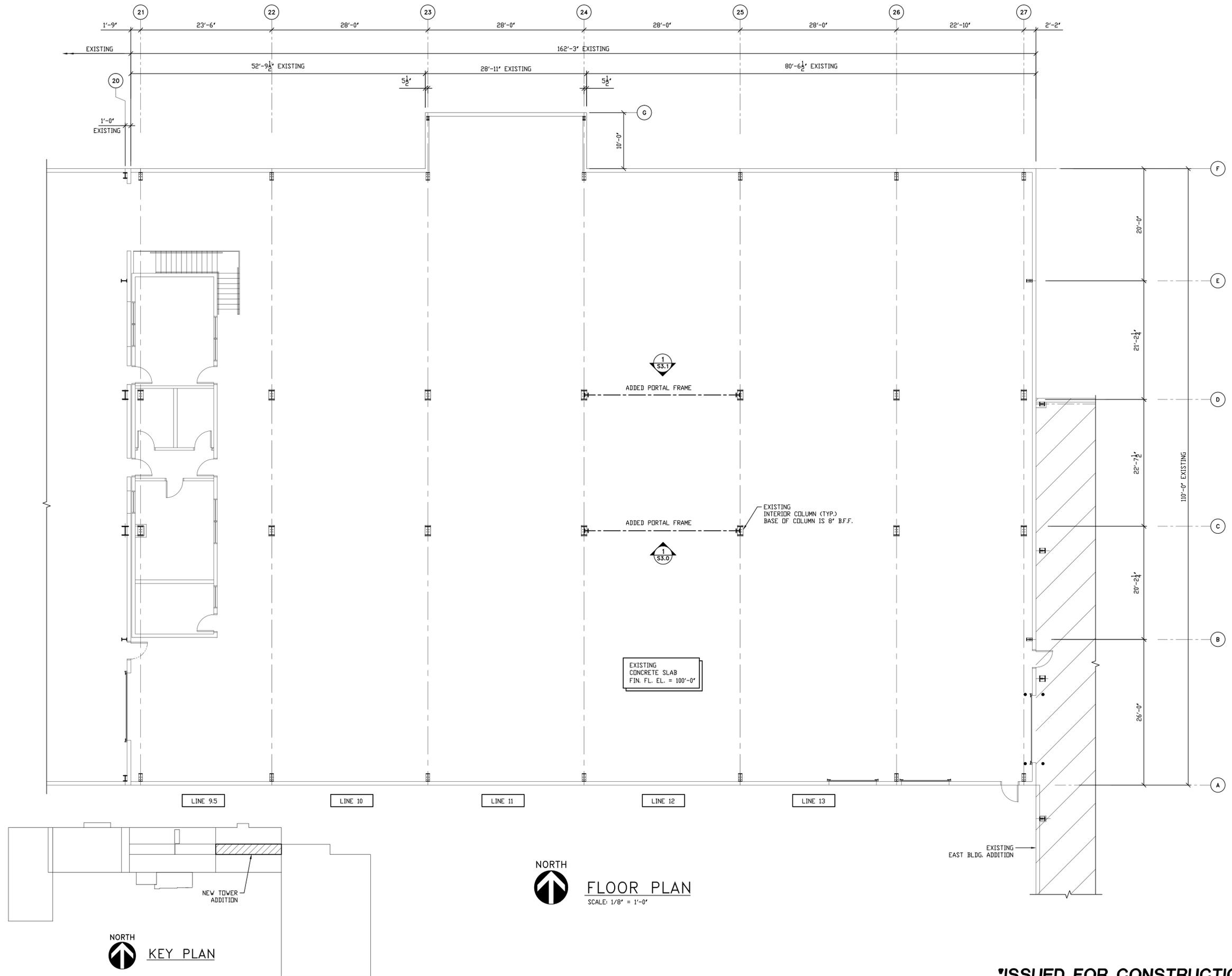
PRELIMINARY NO:

CONTRACT NO:
54164

DATE:
1-29-16

SHEET:
T1.0

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NORTH

FLOOR PLAN
 SCALE: 1/8" = 1'-0"

NORTH

KEY PLAN



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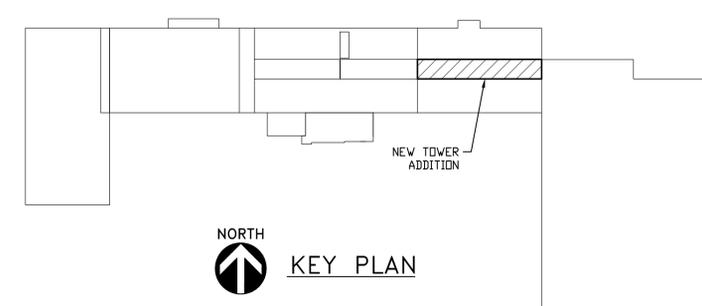
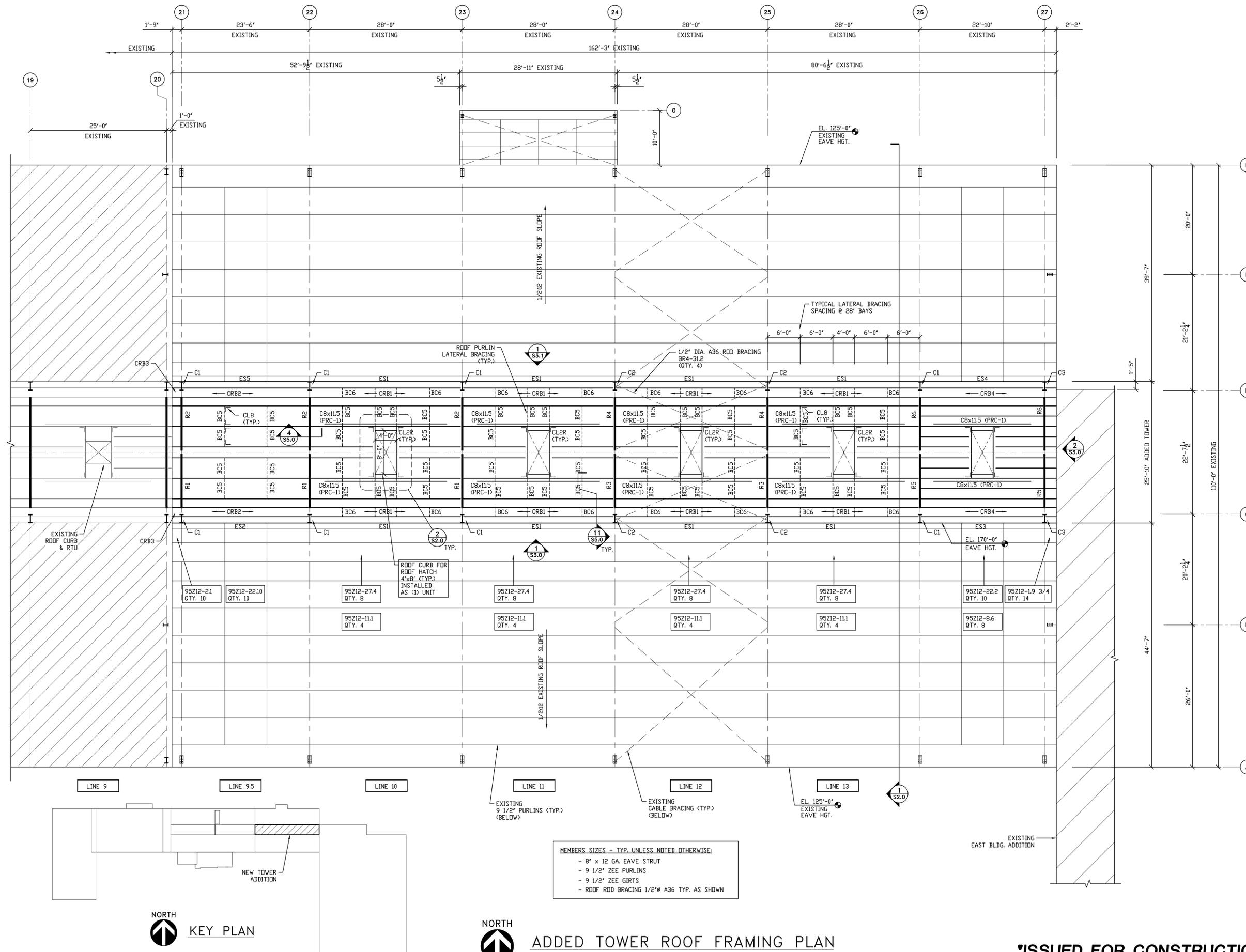
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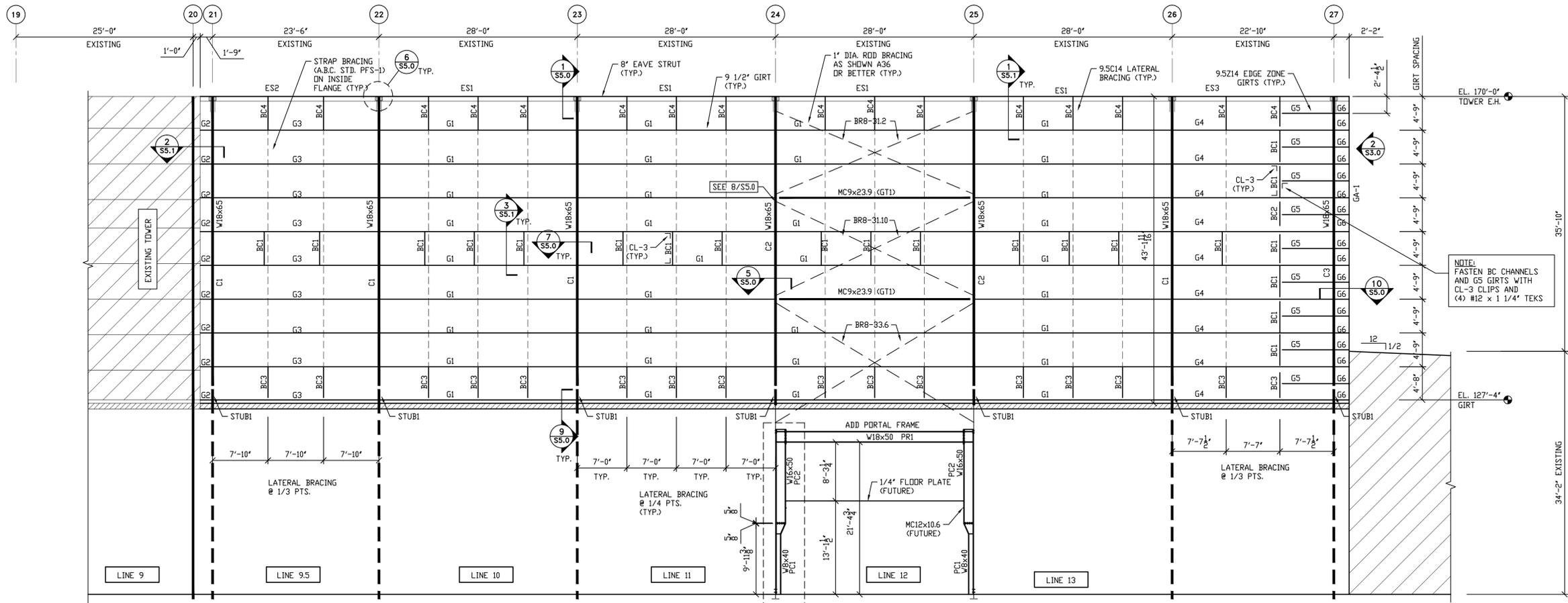
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SHEET: **S1.1**

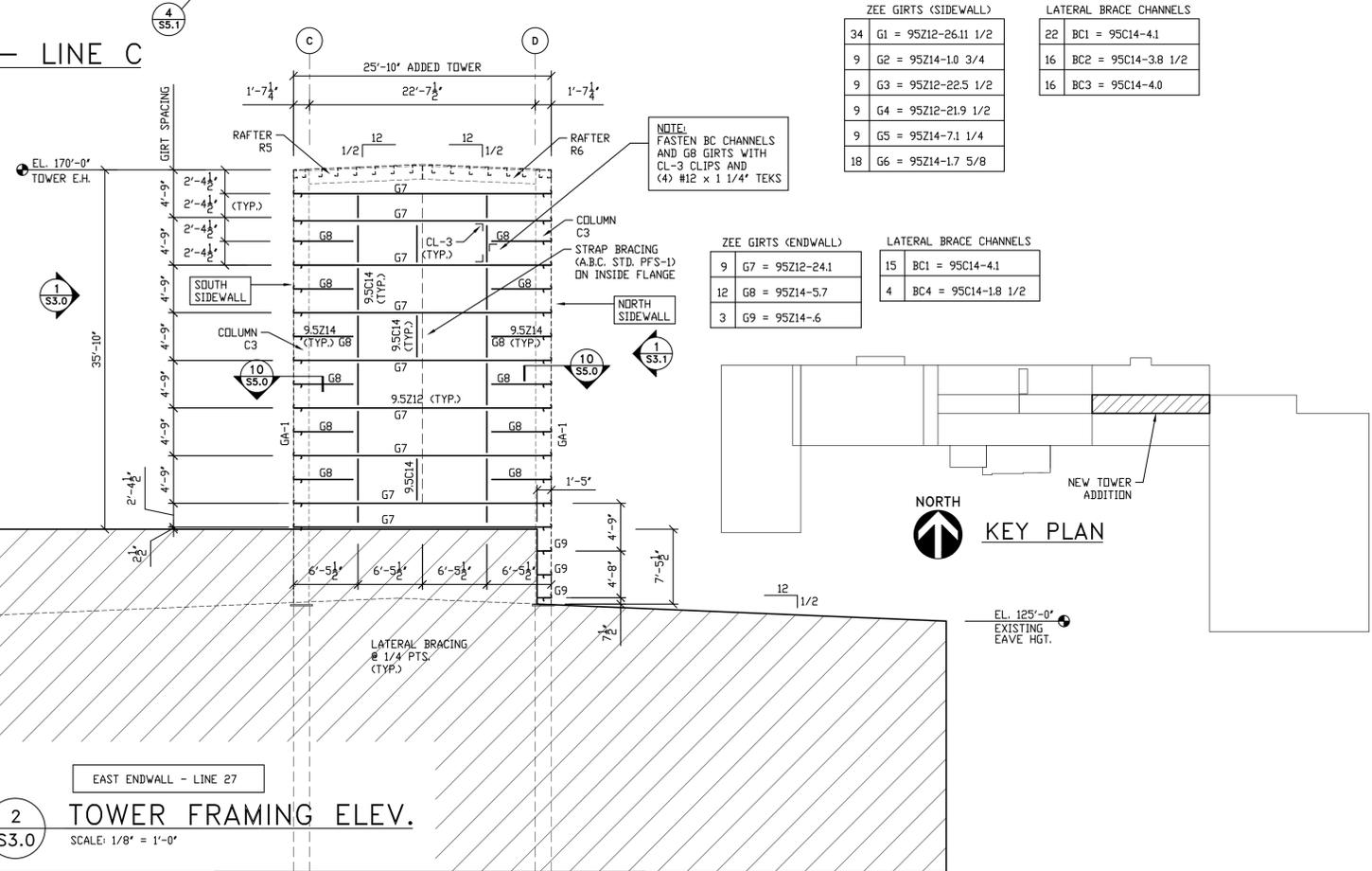


MEMBERS SIZES - TYP. UNLESS NOTED OTHERWISE:
- 8" x 12 GA. EAVE STRUT
- 9 1/2" ZEE PURLINS
- 9 1/2" ZEE GIRTS
- ROOF ROD BRACING 1/2"Ø A36 TYP. AS SHOWN

'ISSUED FOR CONSTRUCTION'



1 SOUTH TOWER FRAMING ELEVATION - LINE C
SCALE: 1/8" = 1'-0"



2 TOWER FRAMING ELEV.
SCALE: 1/8" = 1'-0"

ZEE GIRTS (SIDEWALL)		LATERAL BRACE CHANNELS	
34	G1 = 95Z12-26.11 1/2	22	BC1 = 95C14-4.1
9	G2 = 95Z14-1.0 3/4	16	BC2 = 95C14-3.8 1/2
9	G3 = 95Z12-22.5 1/2	16	BC3 = 95C14-4.0
9	G4 = 95Z12-21.9 1/2		
9	G5 = 95Z14-7.1 1/4		
18	G6 = 95Z14-1.7 5/8		

ZEE GIRTS (ENDWALL)		LATERAL BRACE CHANNELS	
9	G7 = 95Z12-24.1	15	BC1 = 95C14-4.1
12	G8 = 95Z14-5.7	4	BC4 = 95C14-1.8 1/2
3	G9 = 95Z14-6		

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PROPOSED 2016 TOWER ADDITION FOR:

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WISCONSIN MILTON,

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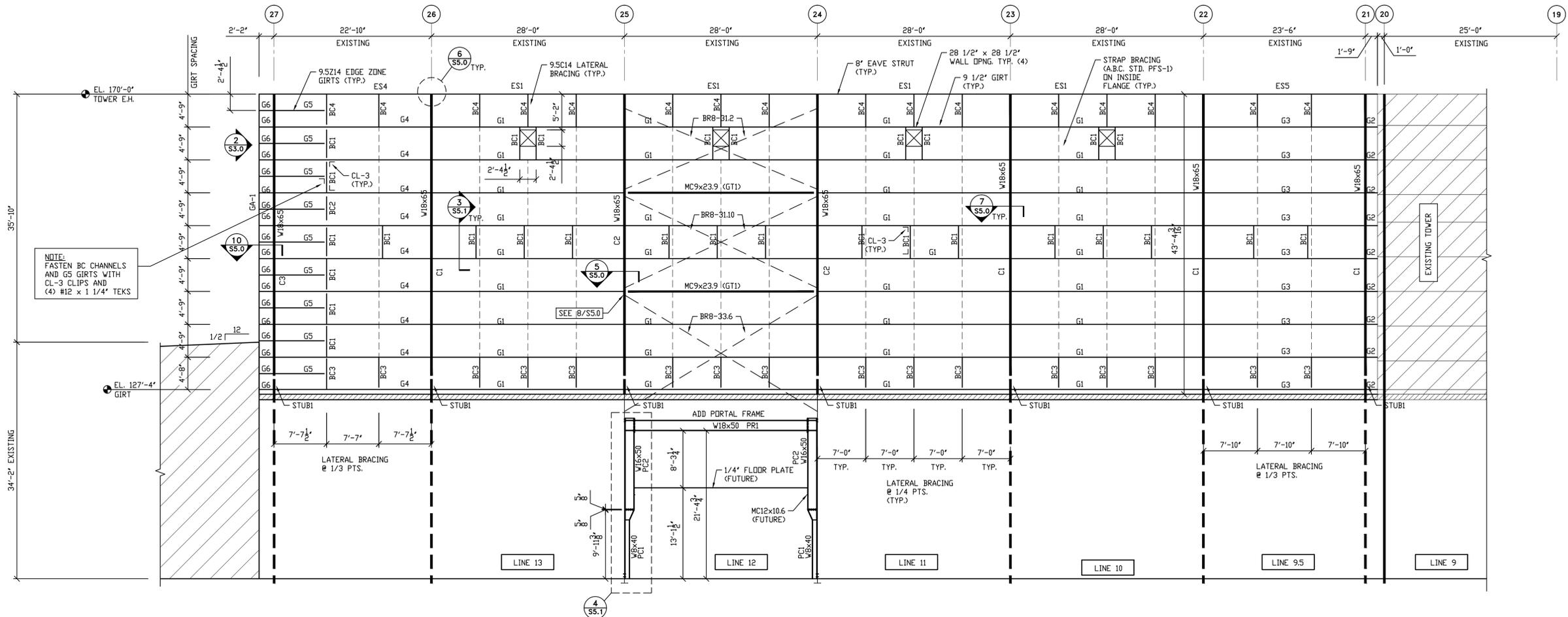
54164

DATE:

1-29-16

SHEET:

'ISSUED FOR CONSTRUCTION' **S3.0**



NOTE:
FASTEN BC CHANNELS
AND G5 GIRTS WITH
CL-3 CLIPS AND
(4) #12 x 1 1/4" TEKS

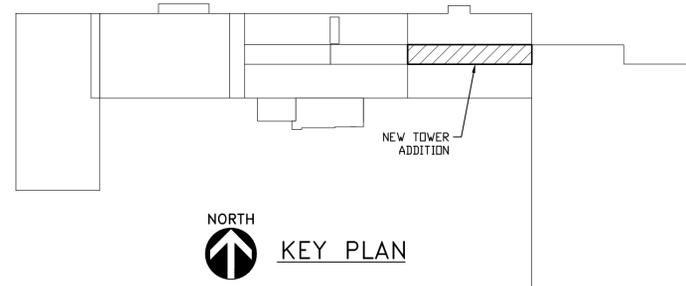
1 NORTH TOWER FRAMING ELEVATION - LINE D
S3.1 SCALE: 1/8" = 1'-0"

ZEE GIRTS (SIDEWALL)

34	G1 = 95Z12-26.11 1/2
9	G2 = 95Z14-1.0 3/4
9	G3 = 95Z12-22.5 1/2
9	G4 = 95Z12-21.9 1/2
9	G5 = 95Z14-7.1 1/4
18	G6 = 95Z14-1.7 5/8

LATERAL BRACE CHANNELS

30	BC1 = 95C14-4.1
16	BC2 = 95C14-3.8 1/2
16	BC3 = 95C14-4.0



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EXPEDITOR:
S. LAMON

SUPERVISOR:
D. CRAKER

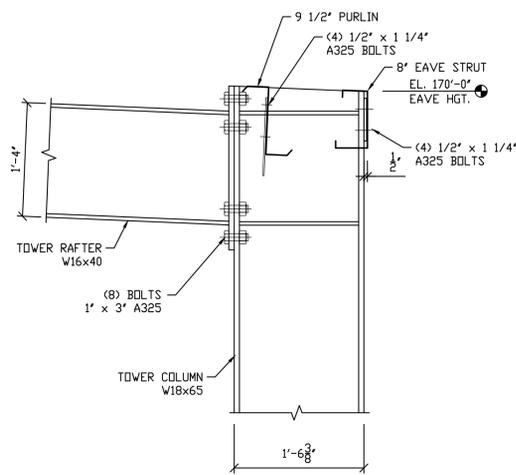
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CONTRACT NO.:

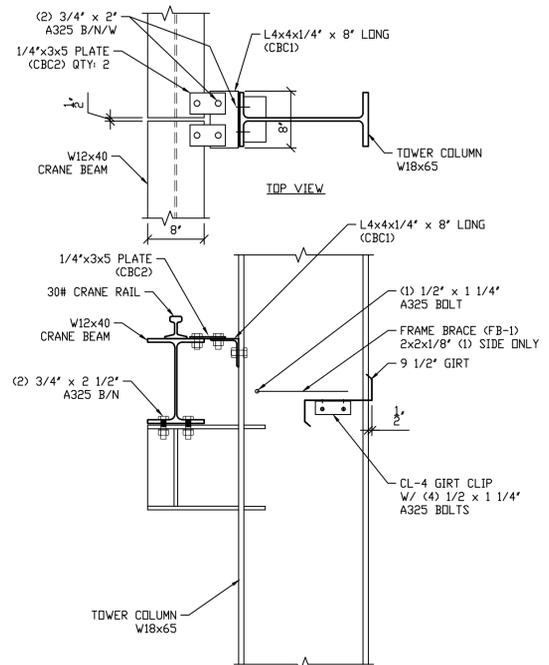
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DATE:
1-29-16

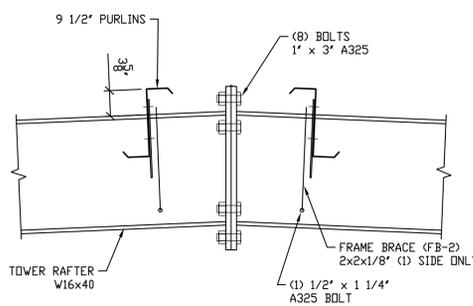
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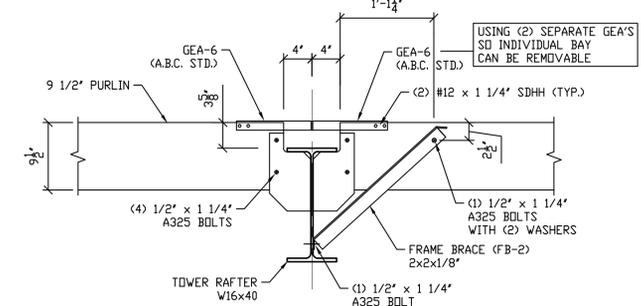
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S5.0
EAVE DETAIL
SCALE: 1" = 1'-0"



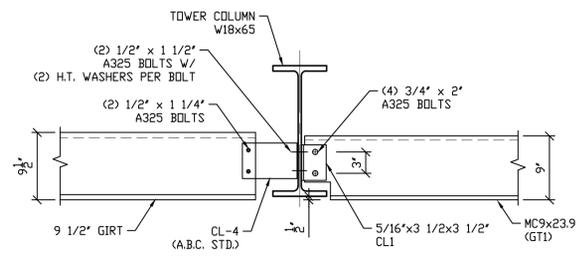
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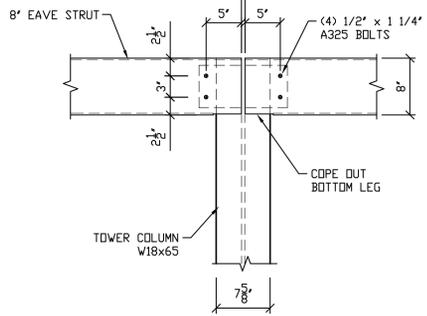
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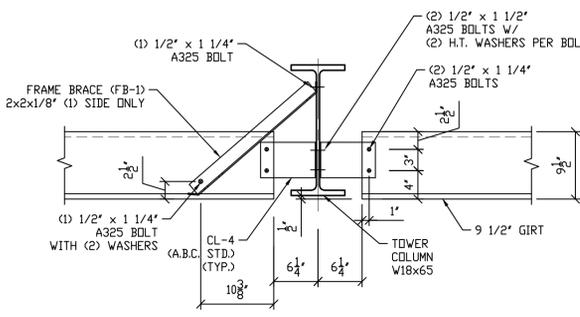
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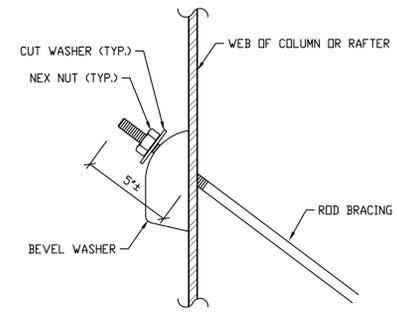
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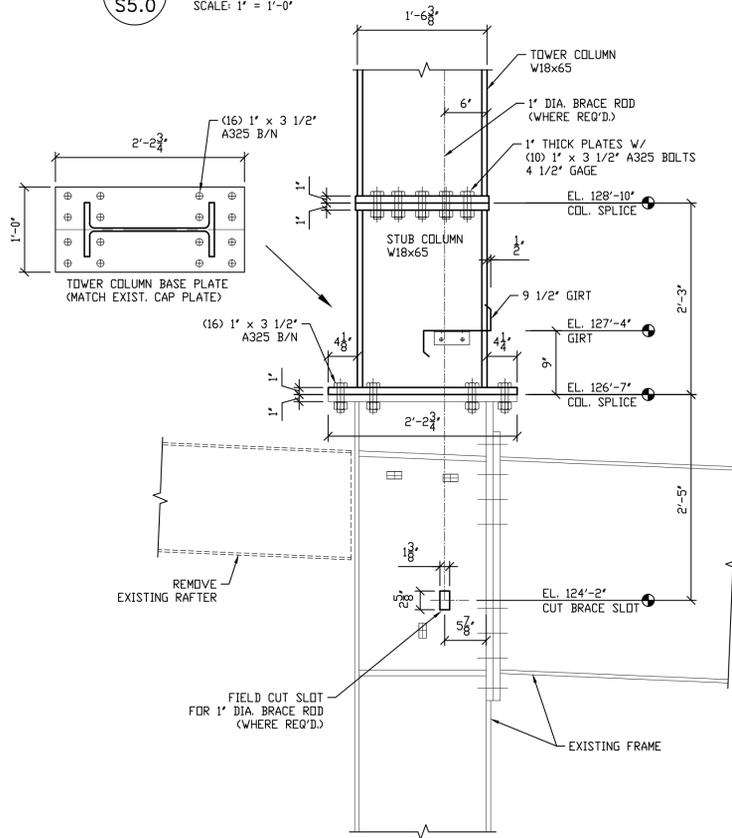
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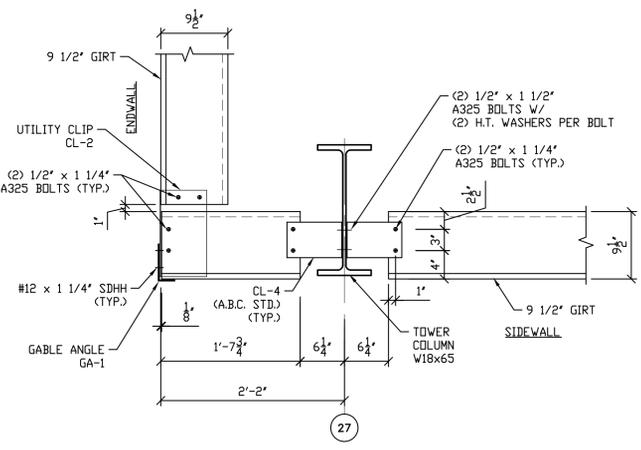
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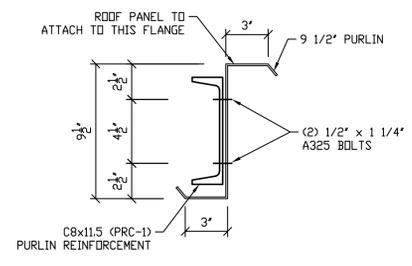
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ROD BRACING DETAIL
SCALE: 1" = 1'-0"



9
S5.0
TOWER COLUMN DETAIL
SCALE: 1" = 1'-0"



10
S5.0
CORNER GIRTS DETAIL
SCALE: 1" = 1'-0"



11
S5.0
PURLIN REINFORCEMENT DETAIL
SCALE: NONE

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D. TIPPETT

EXPEDITOR:
S. LAMON

SUPERVISOR:
D. CRAKER

PRELIMINARY NO.:

CONTRACT NO.:

59164

DATE:

1-29-16

SHEET: **S5.0**

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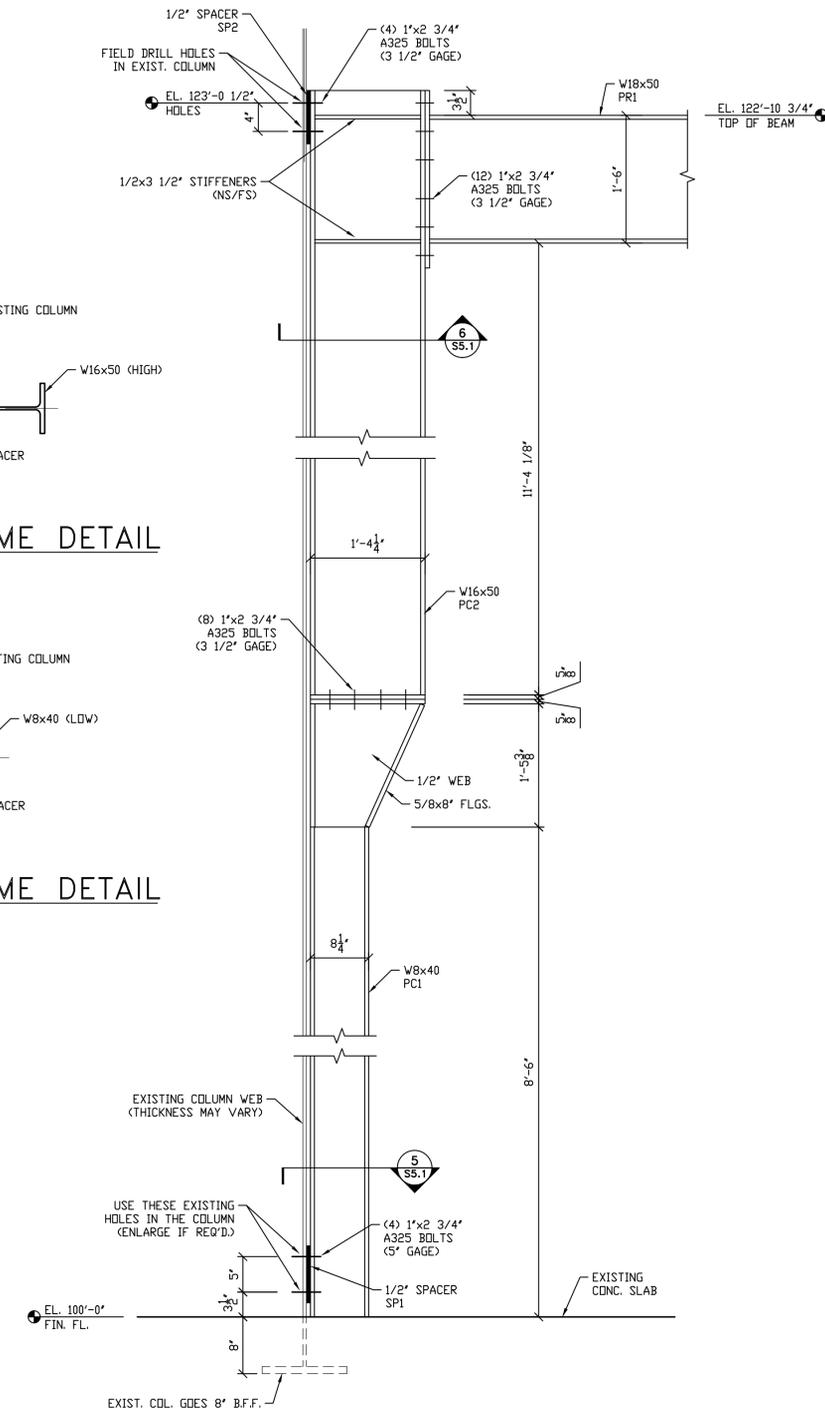
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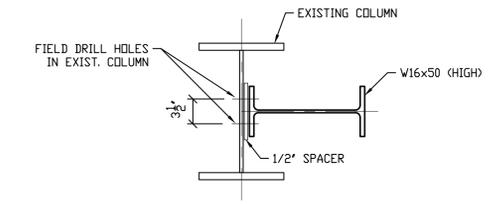
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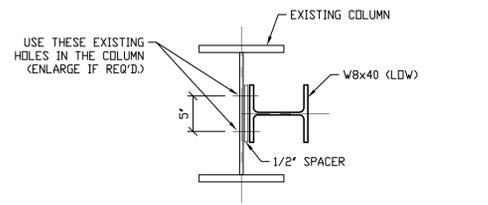
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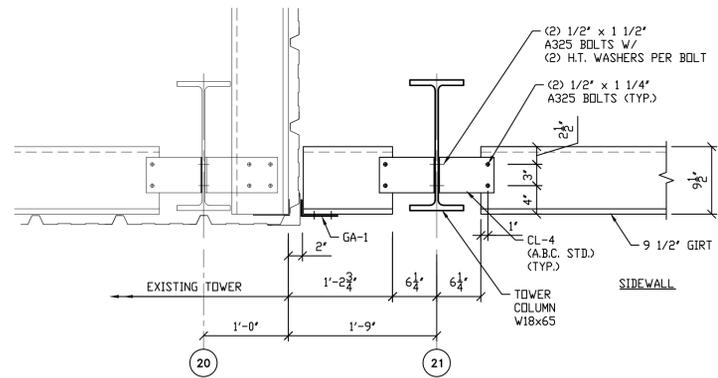
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S5.1 PORTAL FRAME DETAIL
SCALE: 1" = 1'-0"



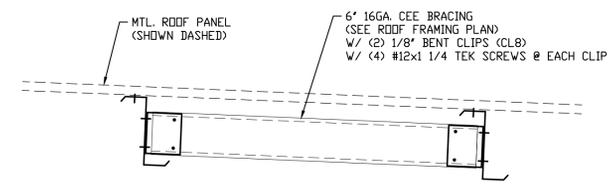
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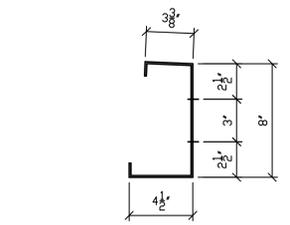
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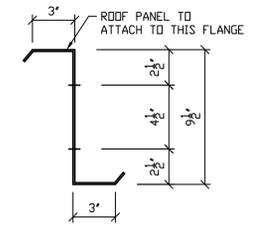
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S5.1 GIRT DETAIL
SCALE: 1" = 1'-0"



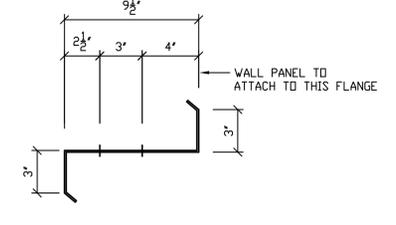
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S5.1 LATERAL ROOF BRACING
SCALE: 1" = 1'-0"



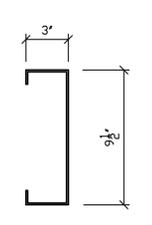
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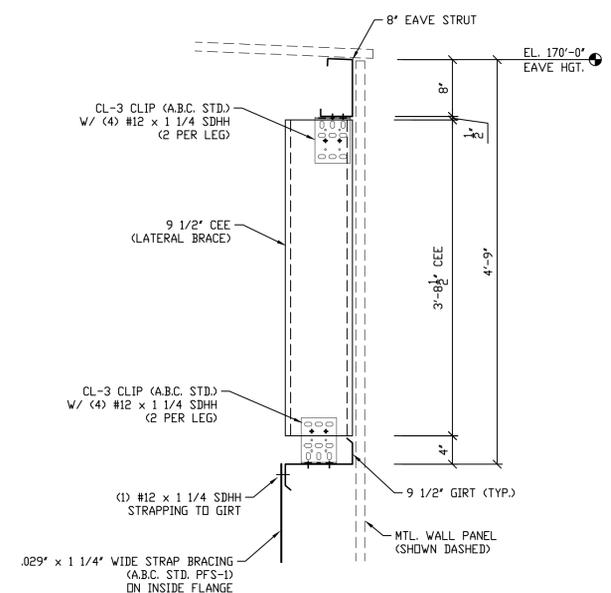
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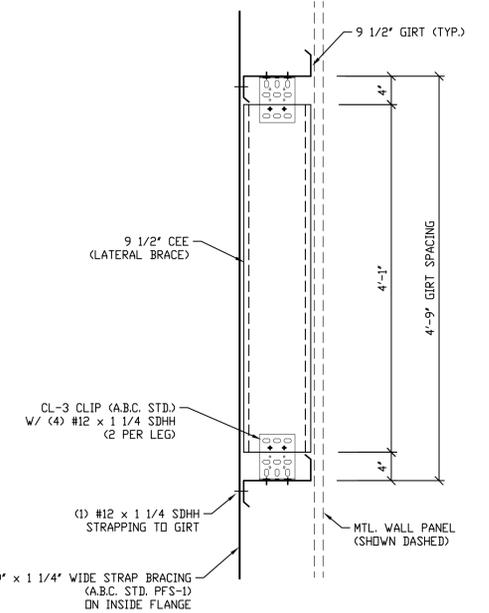
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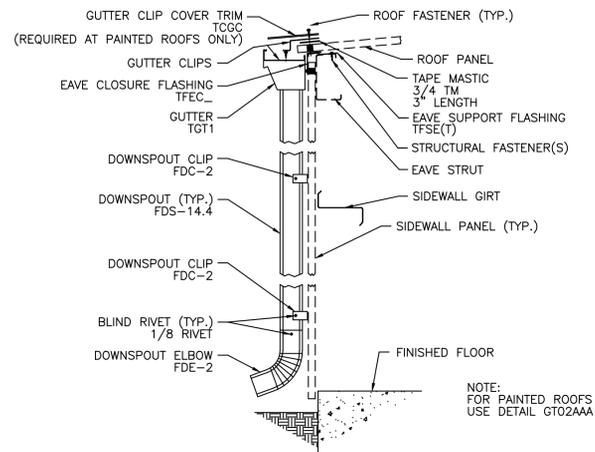
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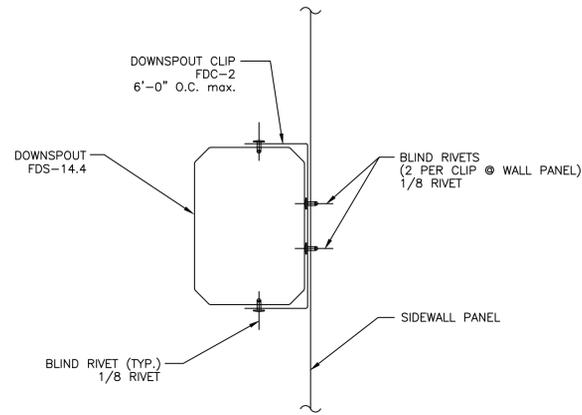
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S5.1 BRACE DETAIL
SCALE: 1" = 1'-0"



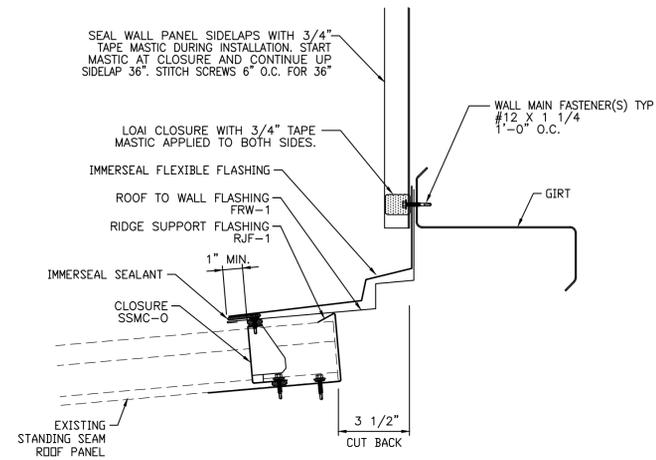
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S5.1 BRACE DETAIL
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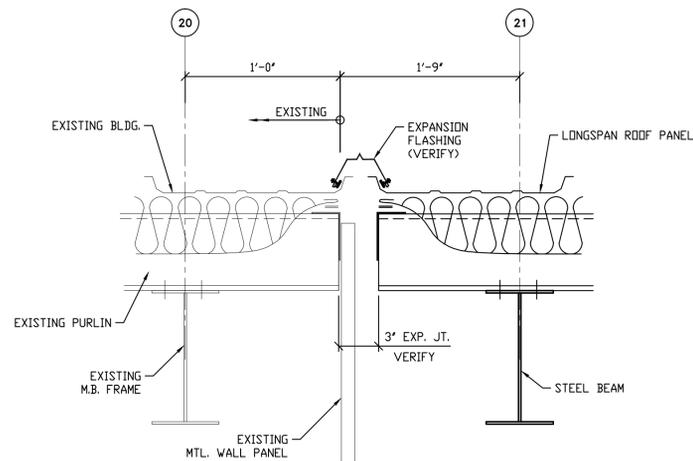
1 DOWNSPOUT DETAIL
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SEE DETAIL 2/S6.1



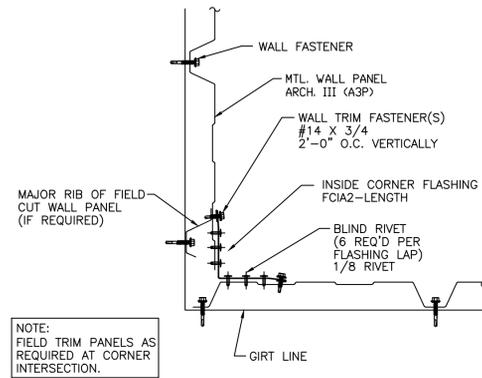
2 DOWNSPOUT DETAIL
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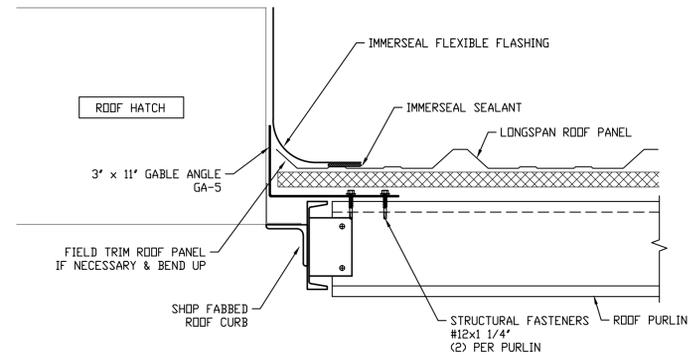
3 ROOF TO WALL DETAIL
SCALE: NONE



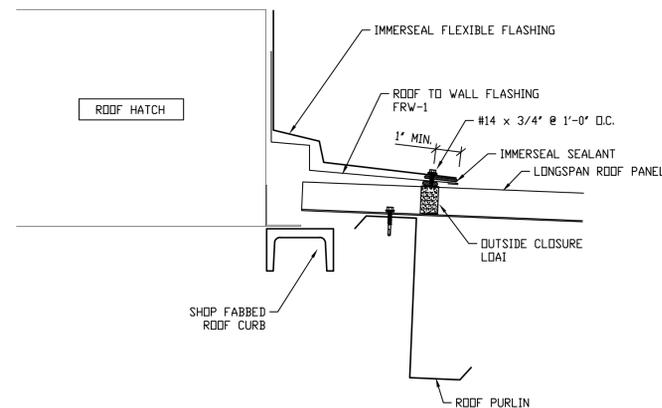
4 EXPANSION JOINT DETAIL
SCALE: NONE



5 INSIDE CORNER DETAIL
SCALE: NONE



6 ROOF CURB DETAIL
SCALE: NONE



7 ROOF CURB DETAIL
SCALE: NONE

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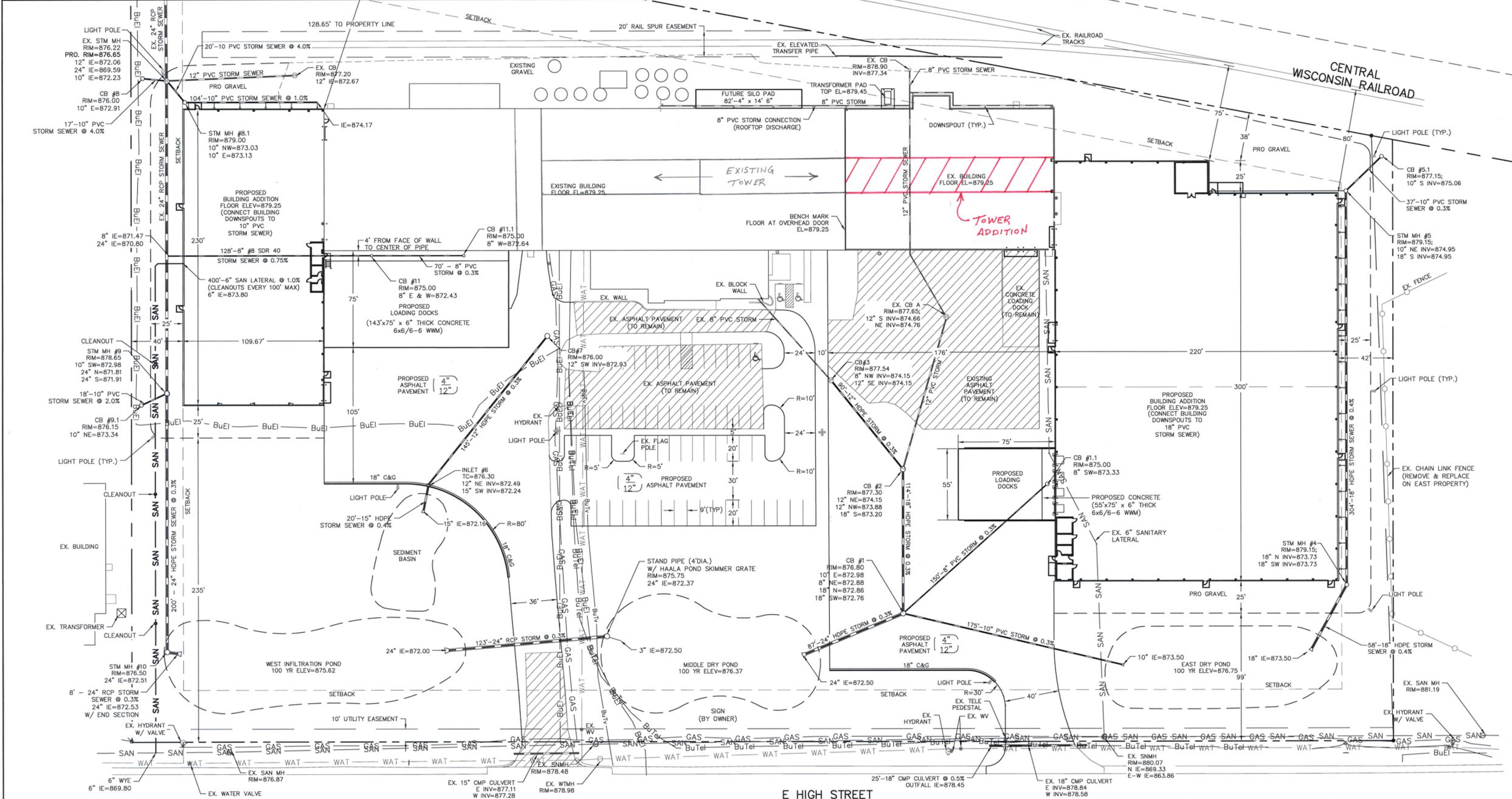
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REVISIONS	PROJECT MANAGER:
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-	DESIGNER:
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-	DRAWN BY:
-	D. TIPPETT
-	EXPEDITOR:
-	S. LAMON
-	SUPERVISOR:
-	D. CRAKER
-	PRELIMINARY NO.:
-	CONTRACT NO.:
-	54164
-	DATE:
-	1-29-16
-	SHEET:
-	S6.1

'ISSUED FOR CONSTRUCTION'

QUAM ENGINEERING, LLC 4604 Siggelkow Road, Suite A - McFarland, WI 53558 (608) 838-7750 (608) 838-7750 \KE-06-13\KE06BASE.DWG



UTILITY NOTES:

ANY DAMAGE TO THE PUBLIC INFRASTRUCTURE INCLUDING SIDEWALK, CURB AND GUTTER, STREET, PAVEMENT, AND PUBLIC UTILITIES RESULTING FROM CONSTRUCTION OF THIS DEVELOPMENT SHALL BE THE APPLICANT'S RESPONSIBILITY TO REPAIR.

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, SIZES, AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ENGINEER.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE TO CITY OF MILTON STANDARD SPECS.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

CONTRACTOR SHALL FIELD VERIFY SANITARY, & WATER INVERTS PRIOR TO CONSTRUCTION

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

PAVING LEGEND

4" ASPHALT PAVEMENT
- 2 1/2" BINDER COURSE
- 1 3/4" SURFACE COURSE
12" AGGREGATE

STORM SEWER CASTINGS:

STRUCTURE	STRUCTURE DIAMETER	NEENAH CASTING OR EQUIVALENT
CB #1	5' DIA.	R-2500
CB #1.1	3' DIA.	R-2540
CB #2	4' DIA.	R-2540
CB #3	4' DIA.	R-2540
STM MH #4	4' DIA.	R-1550
STM MH #5	4' DIA.	R-1550
CB #5.1	3' DIA.	R-2561
INLET #6	2' x 3'	R-3067
CB #7	4' DIA.	R-2540
CB #8	4' DIA.	R-1550
STM MH #8.1	3' DIA.	R-1550
STM MH #9	4' DIA.	R-1550
CB #9.1	3' DIA.	R-2561
CB #10	5' DIA.	R-2500
CB #11	4' DIA.	R-2540
CB #11.1	4' DIA.	R-2540

PROPOSED SITE & UTILITY PLAN
T=80'-0" (11"x17")
1"=40'-0" (24"x36")

SITE AREA INFORMATION
TOTAL LOT AREA = 545,018 SF
PROPOSED GREEN SPACE = 171,180 SF (31.4%)
FUTURE GREEN SPACE = 137,750 SF (25.3%)

NOTES:

- DATE OF ORIGINAL TOPOGRAPHIC FIELD WORK: DECEMBER 18-19, 2013
- PAVEMENT EDGES AND NON-PAVEMENT AREAS SNOW COVERED.
- UPDATED AS-BUILTS APRIL 21, 2015

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FAX (262) 250-9740

WAUSAU
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Suite B
Wausau, WI 54401
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PROPOSED FOR:

CharterNEX Films

MILTON WISCONSIN

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PROJECT MANAGER: C. VANDE WETTERING

DESIGNER: R. QUAM

DRAWN BY: R. QUAM

EXPEDITOR: T. BROCHTRUP

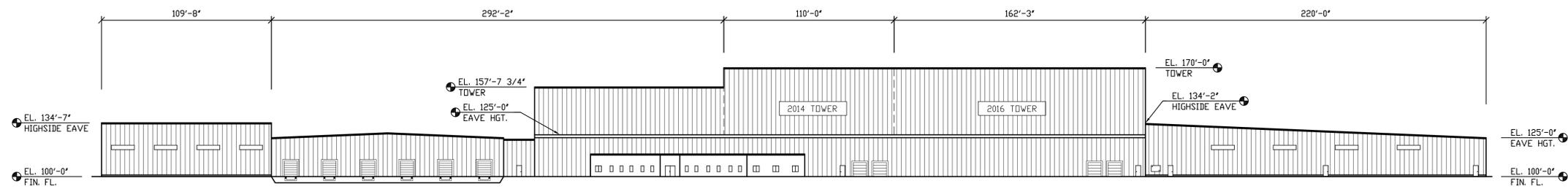
SUPERVISOR: D. CRAKER

PRELIMINARY NO.: -----

CONTRACT NO.: 56039

DATE: SEPTEMBER 11, 2015

SHEET: C1.1



CHARTER NEX – SOUTH ELEVATION
 SCALE: 1" = 40'-0"

Office of the Director of Public Works

To: City of Milton Plan Commission
From: Howard Robinson, Director of Public Works
Date: April 6, 2016
cc: Mayor Anissa Welch, Common Council Members
Subject: Discussion and Possible Action on Updated School Parking Lot Plan.

Discussion

The Milton School District has submitted a revision to their parking lot plan. They are having the parked cars on the S. Janesville St (Hwy 59) side of the school park facing the school instead of the street. This allows a better pick up or drop off situation. The children don't have to cross the parking lot to get to the cars or drop off areas. The parking lot also is not constructed over the existing water main for this layout.

Staff Recommendation

I would recommend approval of the parking lot stalls being moved closer to the school on the west side of the lot.

Attachments

- Site Plan

Office of the Director of Public Works

To: City of Milton Plan Commission
From: Howard Robinson, Director of Public Works
Date: April 6, 2016
cc: Mayor Anissa Welch, Common Council Members
Subject: Discussion and Possible Action on a Site Plan Review for a Concession Stand at South Goodrich Park.

Discussion

Previously, the Public Works Department had submitted a site plan review to allow a concession stand to be constructed in S. Goodrich Park. We are investigating the possibility of moving the old Well #2 building and using it as a concession stand. The new well building construction is planned to start the last week of April. If possible, we would move the existing building at that time. If this option of moving the well building does not work out, we will use the previous site plan approval from last May and construct a concession stand. A cement slab will be installed for the new concession building. This is required to make it accessible. The building will have electricity. A larger window will be installed to replace the current window to service customers and will face the splash pad for improved visibility. The building is 12-1/2' x 12-1/2'. If approved, the Historical Commission will also need to approve the site plan.

Staff Recommendation

Recommend approval of the site plan as presented for S. Goodrich Park Concession Stand.

Attachments

- Site Plan-Pictures of Well

Well #2 Potential Splash Park Concession Stand

